

TOWN OF CANMORE
AGENDA

Subdivision & Development Appeal Board Hearing
Council Chambers at the Civic Centre, 902 – 7 Avenue
Thursday, May 22, 2025 at 9:00 a.m.

1. APPEAL OF DEVELOPMENT PERMIT PL20250086

12 Blue Grouse Ridge; Lot 35 Plan 9612010

Appeal against an approval of the Development Officer of a Detached Dwelling with
Variance to the Gross Floor Area

A. CALL TO ORDER AND INTRODUCTIONS

1. Call to order
2. Approval of the Hearing Agenda
3. Introductions

B. PROCEDURAL OR JURISDICTIONAL MATTERS

C. HEARING PROCESS OUTLINE

D. DEVELOPMENT AUTHORITY PRESENTATION

E. APPELLANT PRESENTATION

F. APPLICANT PRESENTATION

G. WRITTEN SUBMISSIONS

H. MEETING RECESS

I. QUESTIONS OF CLARIFICATION

1. From Board Members
2. From Persons who have Presented

J. CLOSING COMMENTS

1. Development Officer
2. Applicant
3. Appellant

K. CONFIRMATION OF FAIR HEARING

L. MEETING CONCLUSION



NOTICE OF APPEAL

Application Form

To help expedite processing your application, the submission of this form using the fillable fields is greatly appreciated.

PROPERTY INFORMATION			
Municipal Address		Development Permit/Subdivision Application File Number	
APPELLANT INFORMATION			
Name of Appellant		Agent Name (If applicable)	
Mailing Address (for notification purposes)			
City	Province	Postal Code	
		Email	
The appellant/agent, gives authorization for electronic communication by the Clerk, using the email provided on this Notice of Appeal			

APPEAL AGAINST (Check one box only. For multiple appeals you must submit separate Notice of Appeal forms)

Development Permit	Subdivision Application	Stop Order
Approval	Approval	Stop Order
Conditions of Approval	Conditions of Approval	
Refusal	Refusal	

REASONS FOR APPEAL Section 678 and 686 of the Municipal Government Act requires that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons (attach a separate page if required)

FOIP Notification: This personal information is being collected under the authority of the Municipal Government Act (MGA) and the Freedom of Information and Protection of Privacy Act (FOIP) and is managed in accordance with the provisions of FOIP. If you have any questions about the collection of your personal information, contact the SDAB Clerk at municipal.clerk@canmore.ca.

Signature of appellant/agent	Date (MM/DD/YYYY)

INSTRUCTIONS FOR FILING AN APPEAL

THE NOTICE OF APPEAL FORM MUST:

- Be received by the Subdivision and Development Appeal Board (SDAB) within 21 days of the written decision being made and sent out by the Development Authority or the Subdivision Authority as specified in the Municipal Government Act (MGA);
- Be accompanied by the filing fee, made payable to “Town of Canmore”;
- State specific reasons for the appeal; and
- Be signed by the appellant, or their acting agent.

Please note: Appeals must be accompanied by the fee at the time of filing. Contact the Clerk at **403.678.1550** or at municipal.clerk@canmore.ca, to arrange payment if filing by email or fax.

Filing the Appeal: **In-person or mail:**
Town of Canmore
Subdivision and Development Appeal Board
902 7th Avenue
Canmore AB T1W 3K1

Email:
municipal.clerk@canmore.ca

Fax:
403.678.1534

Payment: Appeal fees may be paid by cheque payable to the Town of Canmore upon submission.
Payment can also be made in-person by debit, VISA or MasterCard at the Civic Centre located at:
902 7th Avenue, Canmore AB.

Business hours are 8:30 a.m. to 4:30 p.m. Monday to Friday.

Refund: A refund of the appeal fee will only be granted if the appeal is withdrawn prior to the scheduling of the hearing. No refunds can be made once a hearing is held, regardless of the appeal outcome.

For further information regarding appeal deadlines, fee payment options, or the appeal process, please go to our website at <https://www.canmore.ca/your-government/council/boards-and-committees/subdivision-development-appeal-board>

WHAT IS THE SUBDIVISION AND DEVELOPMENT APPEAL BOARD (SDAB)?

The SDAB is a quasi-judicial authority (similar to a judge) that is made of public members who are appointed by Council. The board consists of between five and seven members. Only one member shall be a member of Council.

The SDAB makes decisions on appeals related to Stop Orders and decisions made with respect to development permits and subdivision applications. When considering appeals, the SDAB owes a duty of fairness to participants in the hearing process.

WHO CAN FILE AN APPEAL?

Subdivision appeals:

The applicant (or agent) can file an appeal if their application for subdivision has been:

- Refused;
- Approved with conditions unacceptable to them;
OR
- If a subdivision authority fails or refuses to make a decision within 60 days of application being deemed complete by the file manager.

The decision of a subdivision authority may be appealed by the applicant (or agent), Town Council, provincial government department or a school board.

Development permit appeals:

The applicant (or agent) can file an appeal if their application has been:

- Refused;
- Approved with conditions unacceptable to them;
- Issued a stop order;
OR
- A party will be affected by a new development or new use of a property;
- If the Development Authority fails or refuses to make a decision within 40 days of the application being deemed complete by the file manager.

WHAT IS THE TIME LIMIT FOR FILING AN APPEAL?

The MGA sets out timelines within which appeals to the SDAB must be filed. If an appeal is filed outside of the time required by the MGA, the SDAB does not have jurisdiction to hear the appeal.

Subdivision appeals: Appeals are allowed within 14 days after receipt of the written decision of the Subdivision Authority (SA).

Development permit appeals: MGA s. 686 provides that appeals must be made within 21 days of;

- a) the date of the written decision on the application, or
- b) the date of the deemed refusal.

Stop order appeals: Appeals are allowed within 21 days of the date on which the Stop Order was made.

WHAT IS THE FEE TO FILE AN APPEAL?

The fee to file a Notice of Appeal is \$300 for an appeal related to small scale development and \$500 for an appeal related to medium or large scale development and must be submitted as part of your appeal. Payment can be made by cheque made out to “Town of Canmore”, or can be made in-person by debit, VISA or MasterCard at the Civic Centre located at 902 7th Avenue. Business hours are 8:30 a.m. - 4:30 p.m. Monday to Friday.

HEARING PROCEDURE

Once the Town of Canmore has received the Notice of Appeal and the applicable fees have been processed, a hearing date is set. The SDAB must hold a hearing within 30 calendar days after receipt of a Notice of Appeal.

TIME OF THE HEARING

The Town of Canmore SDAB holds their hearings during business hours on weekdays. Please inform the Clerk upon submission of your appeal if this timing does not work for you, in which case an alternative time may be scheduled.

BEFORE THE HEARING

The Clerk is required to give at least 5 days' notice in writing of the hearing to:

- the appellant;
- the development authority whose order, decision or development permit is subject to appeal;
- those owners required to be notified under the Land Use Bylaw; and
- any other person that the SDAB considers to be affected by the appeal and should be notified.

Prior to the hearing, the SDAB must make available for public review, all relevant documents and materials with respect to the appeal, including the application for the development permit, the decision and the notice of appeal, or the stop order.

DURING THE HEARING

At the hearing, the SDAB must hear:

- the appellant or any person acting on behalf of the appellant (agent);
- the Subdivision Authority or the Development Authority (as applicable);
- any other person who was given notice of the hearing, and who wishes to be heard, or a person acting on behalf of that person; and
- any person who claims to be affected by the order, decision or permit and that the SDAB agrees to hear.

The person who files the appeal is expected to give a verbal presentation to the SDAB (a written and/or visual presentation is also permitted). Prior to the hearing, the Clerk will advise of the deadline for any submission to the SDAB.

All documents submitted and presented become public documents.

Some suggestions for preparing your presentation for the SDAB:

- Determine the relevant planning issues associated with the appeal;
- prepare a clear, concise and logical written presentation;
- review the contents of the SDAB hearing package provided by the Clerk; and
- avoid the inclusion of non-relevant issues that are outside the Boards jurisdiction and cannot be considered, such as business competition, comments regarding someone's character, financial impact on the applicant, financial status of the applicant, and whether the development is occupied by renters or owners.

Note that the SDAB is not bound by previous decisions and will not hear arguments about precedent.

AFTER THE HEARING

The SDAB must give its decision in writing together with reasons for the decision within 15 days after concluding the hearing. Appeals of the SDAB decision are to the Court of Appeal and are limited to matters of law or jurisdiction.

POSTPONEMENT OR NOT ATTENDING YOUR HEARING

You may submit a written request to postpone your hearing, including the reasons for the request, either to the Board at the time of the hearing or to the Clerk prior to the hearing. Hearings will only be postponed at the discretion of the Board.

If you are not in attendance when your appeal is called, the SDAB may proceed without you.

WITHDRAWAL OF YOUR APPEAL

Written withdrawal must be submitted to the Clerk as soon as possible to help the Board and municipality use its resources effectively. Note that a refund of the appeal fee shall only be granted if the appeal is withdrawn prior to the scheduling of the hearing.

SUBDIVISION AND DEVELOPMENT APPEAL BOARD

STAFF REPORT



DATE OF HEARING:	May 22, 2025
PROPOSED DEVELOPMENT:	Detached Dwelling
APPLICATION NUMBER:	PL20250086
LEGAL DESCRIPTION:	LOT 35, PLAN 9612010
CIVIC ADDRESS:	12 BLUE GROUSE RIDGE, Canmore, AB
CURRENT USE(S):	Vacant lot
APPLICANT:	Allweather Builders Ltd.

EXECUTIVE SUMMARY

The proposed development involves the construction of a new Detached Dwelling on a vacant 1,485.15 m² lot located at 12 Blue Grouse Ridge. This application was approved by the Development Officer on April 8, 2025.

The proposed building covers 25% of the parcel, well below the 40% maximum site coverage allowed. To optimize the use of the site, the applicant is requesting a variance to increase the Total Gross Floor Area (GFA) by 51.6 m², representing a 9% increase over the maximum permitted GFA of 519.8 m² (0.35 FAR). The proposed development is in compliance with all other Land Use Bylaw requirements.

The Planning and Development Department recommends approval of the application, subject to the conditions outlined in Schedule A (attachment 5). The requested GFA variance is offset by the reduced site coverage, and not anticipated to negatively impact adjacent properties. The proposed variance is further offset by the applicant's commitment to achieving a 20% Lower-than-Reference House EnerGuide rating, providing a broader community benefit.

BACKGROUND

Municipal Development Plan

Section 6 - The property is within an established Neighborhood Residential area in which Detached Dwellings are an appropriate use.

Section 4.5.4 *Incentives for developments that significantly exceed the minimum green building standards should be provided.*

Land Use Bylaw 2018-22

Section 3.1 provides the development standards for the R1 - Residential Detached Land Use District. Other relevant sections are:

- 1.14 Variance Powers of Development Authority
- 2.3 Vehicle Access and Driveways
- 2.4 Setbacks and Building Projections
- 2.8 Building Height and Roof Design
- 10 Green Building Regulations

The Development Permit application requested one (1) variance to the Land Use Bylaw standards - for section 3.1.3.11 regarding the maximum gross floor area of a residential building.

Silvertip Area Structure Plan 2001/2007

According to Map 7 of the Area Structure Plan (ASP), the subject site at 12 Blue Grouse Ridge is identified as part of an Established Area. The proposed development is generally consistent with existing development within this area.

EXISTING SITE

The subject site is within the R1 Residential Detached District. The purpose of the district is:

"To provide for Detached Dwelling units on standard lots with provisions to allow for Accessory Dwelling Units and other compatible residential neighbourhood uses."

Detached Dwelling is listed as a discretionary use in this district.

The site is currently vacant and has been vacant for almost 30 years. The lot is situated on the lower Silvertip bench overlooking the valley to the southwest. Within the parcel, there is a 15M non-disturbance area on the west end (rear) of the lot established by a Restrictive Covenant. The vacant lot consists of various trees, some are proposed to be removed, except within the non-disturbance area.

Adjacent uses include a Detached Dwellings to the north, east, south, and across the street to the south-east (see attachment 1 for site context photos).

BYLAW CONFORMANCE/VARIANCE DISCUSSION

1. Maximum Gross Floor Area

The proposed development includes a Total Gross Floor Area (GFA) of 571.4 square metres, which exceeds the maximum allowable GFA of a residential building by 51.6 square metres, or approximately 9%.

According to Section 3.1.3.11(b) of the Land Use Bylaw, the maximum permitted GFA for residential buildings on lots equal to or greater than 930 square metres is determined using a Floor Area Ratio (FAR) of 0.35. Based on the subject lot size of 1,485.15 square metres, the allowable GFA is calculated at 519.8 square metres.

PLANNING DEPARTMENT POSITION

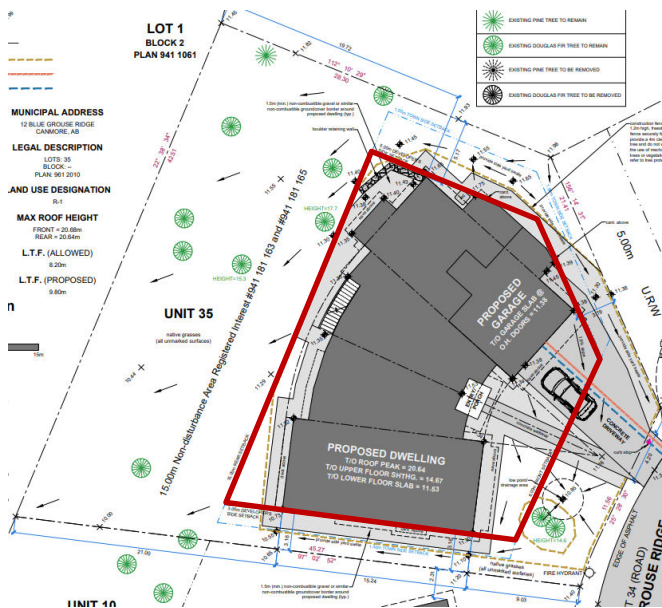
The Planning and Development Department supports the proposed variance to increase the Gross Floor Area (GFA) beyond the maximum allowed by the Land Use Bylaw. Due to the larger than average size of the lot and increased setbacks required by the developer, the resulting site coverage of the proposed development is 25%, significantly below the 40% permitted in the R1 District. While the proposal does include increased building mass of 51.6 square meters (approximately the size of a two car garage), the impact of increased massing is offset by the open space which results from reduced site coverage.

In consideration of this variance, the applicant has agreed to a condition of approval requiring the proposed dwelling to achieve a 20% Lower than Reference House EnerGuide rating, exceeding the minimum 10% Lower than Reference House EnerGuide rating required by the Land Use Bylaw, and thereby delivering a tangible environmental benefit to the community. The applicant has formally engaged with VerdaTech, an energy management and consulting firm, to support this condition.

The application included a letter of support from Silvertip Design Review Group confirming their approval in relation to the Silvertip architectural controls and development standards, which includes increased setbacks from property lines (see Figure 1). The Town has no part in reviewing or enforcing Silvertip's architectural or development requirements, as they are a private agreement between the lot owner and Silvertip (Stone Creek Resorts).

The proposed development complies with all other Land Use Bylaw requirements including height, projection, and setbacks from property lines (see Figure 2 below, attachment 3 for complete Bylaw Conformance review, and attachment 4 for the Development Permit Application and Supporting information). During the review stage of the application, neighbourhood concerns were raised regarding visual overlook into adjacent properties from the proposed rear deck. The Land Use Bylaw does not contain regulations preventing visual overlook in this case.

Figure 1 – The proposed dwelling is subject to increased developer-imposed setbacks.



OPTIONS FOR CONSIDERATION

Section 687(3)(c) and (d) of the MGA provide that, in making a decision on a development appeal, the board may:

- confirm, revoke or vary the order, decision or development permit or any condition attached to any of them or make or substitute an order, decision or permit of its own;
- may make an order or decision or issue or confirm the issue of a development permit even though the proposed development does not comply with the land use bylaw if, in its opinion,
 - the proposed development would not unduly interfere with the amenities of the neighbourhood, or materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land, and
 - the proposed development conforms with the use prescribed for that land or building in the land use bylaw.

Planning proposes that the SDAB consider the following options:

1. Approve the application subject to the conditions in Schedule A.
2. Approve the application subject to revised conditions in Schedule A the SDAB deems necessary.
3. Refuse the application, specifying reason(s) for refusal.
4. Postpone the application, pending submission of any additional details requested by SDAB.

RECOMMENDATION

Planning recommends that the Subdivision & Development Appeal Board **APPROVE** PL20250086. Recommended conditions are included in Attachment 5.

ATTACHMENTS:

1. Site Context
2. Zoning Map
3. Bylaw Conformance Review
4. Development Permit Application (Plans and Supporting Information)
5. Proposed Conditions of Approval (Schedule A)



Eric Borge
Planning & Development Supervisor



Maneet Singh Duggal
Planning Technician

ATTACHMENT I – SITE CONTEXT

Aerial View of the Site



North View from Blue Grouse Ridge



South View from Blue Grouse Ridge



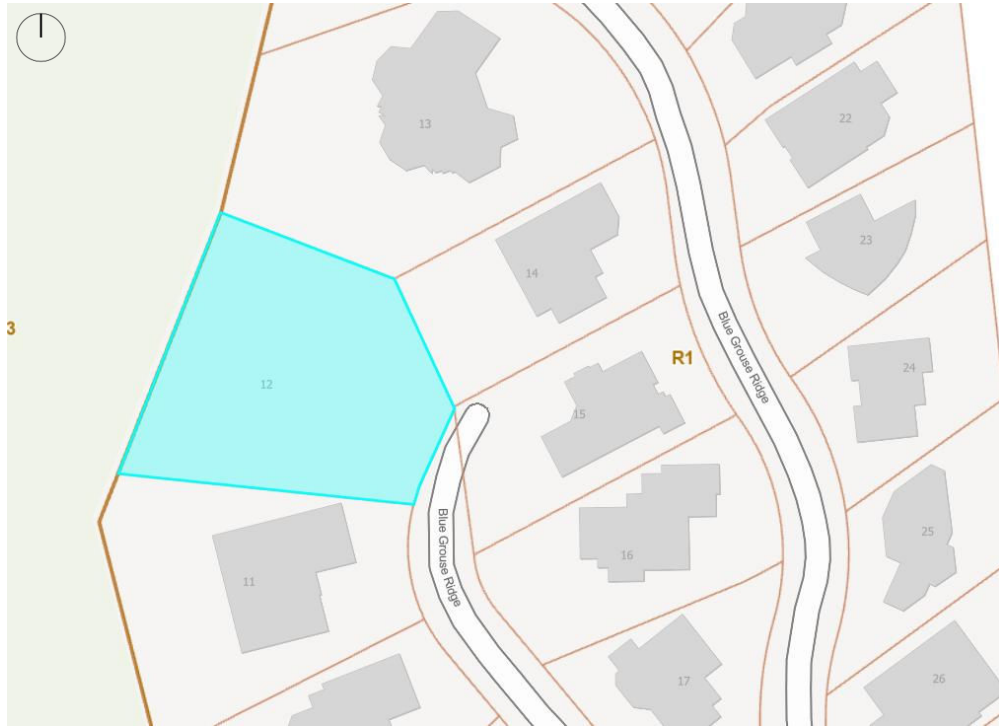
East View from Blue Grouse Ridge



West (Site) View from Blue Grouse Ridge



ATTACHMENT 2 – ZONING MAP



12 Blue Grouse Ridge highlighted in blue

ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW

REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
MAX FLOOR AREA RATIO (FAR)	MAX 0.35 (519.8 SQM)	571.45QM	YES BY 51.6SQM OR 9%
FRONT YARD SETBACK	MAX 6 M	MAX 10.32 M	No
SIDE YARD SETBACK (NORTH)	1.5 M	5 M	No
SIDE YARD SETBACK (SOUTH)	1.5 M	3 M	No
REAR YARD SETBACK	7.5 M	16.09 M	No
MAX BUILDING HEIGHT	1420.68 M	1420.64 M	No
ROOF DESIGN METHOD	BUILDING ENVELOPE METHOD/HMAX METHOD	BUILDING ENVELOPE METHOD	No
SITE COVERAGE	40%	25.9%	No
PARKING VEHICLE PARKING	1 UNITS = 2 VEHICLE PARKING STALLS	1 UNITS = 2 VEHICLE PARKING STALLS	No
FIRESMART REQUIREMENT NON-COMBUSTIBLE BUFFER MATERIAL	1.5M MIN CLASS B	1.5 M CLASS B	No

DRIVEWAY			
WIDTH AT PROPERTY LINE	5M	4.20M	No
USABLE LENGTH	6M	10M	
PROJECTION			
DECK	2M	WITHIN THE SETBACKS	No
EAVES	0.61M		



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0026 833 491 9612010;35 251 093 035

LEGAL DESCRIPTION
 CONDOMINIUM PLAN 9612010
 UNIT 35
 AND 333 UNDIVIDED ONE TEN THOUSANDTH SHARES IN THE COMMON PROPERTY
 EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;10;25;4;SW

MUNICIPALITY: TOWN OF CANMORE

REFERENCE NUMBER: 981 016 162

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
251 093 035	04/04/2025	TRANSFER OF LAND	\$1,850,000	\$1,850,000

OWNERS

TIMOTHY ALOYSIUS WELSH

AND

ELIZABETH TORNEY WELSH

BOTH OF:

SOUTH SAINT PAUL, MN 55116-1000
 U.S.A
 AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
941 181 163	11/07/1994	CAVEAT RE : RESTRICTIVE COVENANT , ETC. CAVEATOR - THE TOWN OF CANMORE. BOX 460

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
251 093 035

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

114 RUNDLE DRIVE CANMORE
ALBERTA T0L0M0

941 181 165 11/07/1994 CAVEAT
RE : RESTRICTIVE COVENANT , ETC.
CAVEATOR - STONE CREEK PROPERTIES INC.
3540 FIRST CANADIAN CENTRE
350-7 AVE SW
CALGARY
ALBERTA T2P3N9

941 231 648 06/09/1994 RESTRICTIVE COVENANT

951 240 909 23/10/1995 EASEMENT
OVER UNIT 34 ON PLAN 9612010 FOR BENEFIT OF UNITS
1 TO 30 INCLUSIVE ON PLAN 9411407
EASEMENT AMENDED BY JUDGES ORDER

* ADDITIONAL REGISTRATIONS MAY BE SHOWN ON THE CONDOMINIUM ADDITIONAL
PLAN SHEET

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 7 DAY OF APRIL,
2025 AT 08:34 A.M.

ORDER NUMBER: 53345867

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

ALBERTA GOVERNMENT SERVICES LAND TITLES OFFICE

IMAGE OF DOCUMENT REGISTERED AS:

941181163

ORDER NUMBER: 24674084

ADVISORY

This electronic image is a reproduction of the original document registered at the Land Titles Office. Please compare the registration number on this coversheet with that on the attached document to ensure that you have received the correct document. Note that Land Titles Staff are not permitted to interpret the contents of this document.

Please contact the Land Titles Office at (780) 422-7874 if the image of the document is not legible.

NOTE

94181163 REGISTERED 1994 07 11
CAVE - CAVEAT
DOC 1 OF 3 DR# : 276955C ADR/GVELJI
LINC/S: 0013874391 0025715732

RESTRICTIVE COVENANTS
AND EASEMENT AGREEMENT

BETWEEN:

STONE CREEK PROPERTIES INC.

AND

STONE CREEK PROPERTIES INC. and
TOWN OF CANMORE and
ALBERTA MORTGAGE AND HOUSING CORPORATION

NOTE

94181163 REGISTERED 1994 07 11
CAVE - CAVEAT
DOC 1 OF 3 DRR#: 275955C ADR/GVELJI
LINC/S: 0013874391 0025715732

RESTRICTIVE COVENANTS
AND EASEMENT AGREEMENT

BETWEEN:

STONE CREEK PROPERTIES INC.

AND

STONE CREEK PROPERTIES INC. and
TOWN OF CANMORE and
ALBERTA MORTGAGE AND HOUSING CORPORATION

FORM 26

LAND TITLES ACT
(Section 130)

CAVEAT FORBIDDING REGISTRATION

Take notice that TOWN OF CANMORE claims an interest pursuant to an agreement in writing dated 24th June 1994 between the Town of Canmore, Stone Creek Properties Inc. and Alberta Mortgage and Housing Corporation which creates certain restrictive covenants and easements running with the subject lands, a true copy of the said agreement being attached hereto as Schedule "A" to this caveat, in the land described as follows:

PLAN 9312238
BLOCK 7
EXCEPTING THEREOUT ALL MINES AND MINERALS

(the Servient Tenement)

- and -

PLAN 8610873
BLOCK 1-
LOT 7ER (ENVIRONMENTAL RESERVE)
EXCEPTING THEREOUT ALL MINES AND MINERALS

(the Dominant Tenement)

standing in the register in the name of STONE CREEK PROPERTIES INC. AND THE TOWN OF CANMORE; and it forbids the registration of any person as transferee or owner of, or of any instrument affecting that estate or interest, unless the certificate of title is expressed to be subject to its claim.

The caveator designates the following address as the place at which notices and proceedings relating hereto may be served:

Town of Canmore
Box 460
114 Rundle Drive
Canmore, Alberta TOL OMO

IN WITNESS WHEREOF the caveator has caused its corporate seal to be affixed duly attested by the hands of its proper officers duly authorized in that behalf this 24th day of June, 1994.

TOWN OF CANMORE

Per: [Signature]

Per: [Signature]

NOTE

Resc & Ease

FORM 27

LAND TITLES ACT
(Section 131)

AFFIDAVIT IN SUPPORT OF CAVEAT

I, Martin Buckley, of the Town of Canmore, in the Province of Alberta, make oath and say (or solemnly declare) as follows:

1. I am the agent for the caveator.
2. I believe that the caveator has a good and valid claim on the land, and I say that this caveat is not being filed for the purpose of delaying or embarrassing any person interested in or proposing to deal with it.

SWORN before me at the Town of)
Canmore, in the Province of Alberta)
this 27 day of June, 1994.)

Steven C. Parker)

STEVEN C. PARKER
Barrister & Solicitor

[Signature]
(Name of Agent)

NOTE

1994

NOTE

CAVEAT

SCHEDULE 'A'

MEMORANDUM OF AGREEMENT made this 14 day of June, 1994

BETWEEN:

STONE CREEK PROPERTIES INC., a body corporate with offices in the City of Calgary, in the Province of Alberta (hereinafter referred to as the "Grantor")

OF THE FIRST PART

- and -

STONE CREEK PROPERTIES INC., a body corporate and THE TOWN OF CANMORE, a municipal corporation and ALBERTA MORTGAGE AND HOUSING CORPORATION, a body corporate (hereinafter referred to as the "Grantees")

OF THE SECOND PART

RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT

RECITALS:

1. The Grantor is the owner of Block 2, Block 7 and Block 9.
2. The Town is the owner of Lot 7 ER.
3. AMHC is the owner of Block 3.
4. On November 9, 1993 the Council of the Town approved an application for the creation of a 33 unit single family bareland condominium subdivision on Block 7 (the "BareLand Condo Subdivision").
5. Approval of the BareLand Condo Subdivision was given subject to certain conditions including, amongst others, the requirement that the Grantor enter into a number of restrictive covenant and easement agreements all as more particularly detailed in the conditions of approval contained in subdivision approval 04.03(4) as shown in the minutes of the Town Council meeting dated November 7, 1993.

NOTE

RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT

Page 2.

6. In respect to the requirements of the Town Council relating to the matter of restrictive covenant and easement agreements, the parties agree as hereinafter set forth.
7. The Town and Stone Creek acknowledge that a Deferred Servicing Agreement was entered into by the Town and Stone Creek dated January 29, 1993 in respect of, and as a requirement of, the approval of April 16, 1991 by the Town Council of a development permit application for the development of an 18 hole golf course on lands owned by Stone Creek which provides that upon subdivision of Block 7 (amongst other "triggering events" as defined in that Agreement) Stone Creek would be responsible to do certain things including the entering into of a servicing agreement which would require the registration of certain restrictive covenant and easement agreements.
8. The Town and Stone Creek acknowledge that a Deferred Servicing Agreement was entered into by the Town and Stone Creek dated October 13, 1993 in respect of, and as a requirement of, the approval of August 24, 1993 by Town Council of a 23 lot subdivision which provided that upon subdivision of Block 7 (amongst other "triggering events" as defined in that Agreement) Stone Creek would be responsible to do certain things including the entering into of a servicing agreement which would require the registration of certain restrictive covenant and easement agreements.
9. The Town and Stone Creek have entered into a Subdivision Servicing Agreement for purposes of the subdivision, servicing and development of Block 7, which agreement requires the registration of the certain restrictive covenant and easement agreements.
10. Section 71 of the Land Titles Act (Alberta) provides as follows:
 - "71(1) An owner may grant to himself an easement or restrictive covenant for the benefit of land which he owns and against land which he owns and the easement or restrictive covenant may be registered under this Act.
 - (2) When the dominant and servient tenements are registered in the name of the same person, and easement under subsection (1) is not merged by reason of the common ownership."

AGREEMENT

NOW THEREFORE in consideration of the terms, conditions, covenants and undertakings herein provided, the parties agree as follows:

ARTICLE 1. - DEFINITIONS

- 1.1 In this Agreement, including this paragraph, unless the context otherwise requires:

NOTE

- (a) "AMHC" means Alberta Mortgage and Housing Corporation, being a body corporate incorporated pursuant to the Alberta Mortgage and Housing Corporation Act (Alberta).
- (b) "BareLand Condo Subdivision" means the 33 unit single family bareland condominium subdivision of Block 7 approved by the municipal council of the Town on November 9, 1993 and identified as approval 04.03(4).
- (c) "Block 2" means the lands owned by the Grantor and legally described as follows:
 PLAN 9312238
 BLOCK 2
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 24.1 HECTARES (59.46 ACRES) MORE OR LESS
- (d) "Block 3" means the lands owned by AMHC and legally described as follows:
 PLAN 9312238
 BLOCK 3
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 17.7 HECTARES (43.76 ACRES) MORE OR LESS
- (e) "Block 7" means the lands owned by the Grantor and legally described as follows:
 PLAN 9312238
 BLOCK 7
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 3.75 HECTARES (9.28 ACRES) MORE OR LESS
- (f) "Block 9" means the lands owned by the Grantor and legally described as follows:
 PLAN 9312238
 BLOCK 9
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 9.753 HECTARES (24.1 ACRES) MORE OR LESS
- (g) "Lot 7 ER" means the lands owned by the Town and legally described as follows:
 PLAN 8610873
 BLOCK 1
 LOT 7ER (ENVIRONMENTAL RESERVE)
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 12.2 HECTARES (30.15 ACRES) MORE OR LESS
- (h) "Owner", in reference to land, means the person registered under the Land Titles Act (Alberta) as the owner of the fee simple estate in the land.
- (i) "Stone Creek" means Stone Creek Properties Inc., being a body corporate authorized to carry on business within the Province of Alberta.

NOTE

- (j) "Subdivision Servicing Agreement" means the Agreement dated the 10th day of June, A.D. 1994 entered into between the Town and Stone Creek respecting the subdivision, servicing and development of Block 7.
- (k) "Town" means the Town of Canmore.
- (l) "Unit" means any one or more of the units created upon registration of the BareLand Condo Subdivision, and "units" has a corresponding meaning.

ARTICLE 2. - RESTRICTING DEVELOPMENT
AND USE OF CONDO COMMON PROPERTY

- 2.1 The Grantor being the owner of all of the Units does hereby covenant with the Town and Stone Creek that:
 - (a) no buildings nor permanent structures shall be constructed or placed upon Units 31, 32 and 33 unless and until the BareLand Condo Subdivision is registered at the Land Titles office and Units 31, 32 and 33 have been transferred to the Condominium Association free and clear excepting only easements, utility rights-of-way and restrictive covenants;
 - (b) Units 31, 32 and 33 shall not be transferred nor disposed of in any manner by the Condominium Association without the prior written approval of all owners of Units 1 through 30 inclusive;
- 2.2 The Town and Stone Creek agree that the covenants contained in clause 2.1(a) shall not preclude the Grantor from constructing or installing, pursuant to the Subdivision Servicing Agreement, local improvements (as the same are defined in the Subdivision Servicing Agreement) within Units 31, 32 and 33.
- 2.3 For the purposes of the covenants contained in paragraph 2.1, Units 1 through 30 inclusive are dominant tenements and Units 31, 32 and 33 are servient tenements.
- 2.4 For the purposes of clause 2.1(a), the Grantor agrees that the covenants contained therein are also for the benefit of the Town and that the said covenants shall be enforceable by the Town against the Grantor by way of any proceedings or action deemed appropriate by the Town.

ARTICLE 3. - RESTRICTING DEVELOPMENT
AND DISTURBANCE OF NATURAL VEGETATION

- 3.1 The Grantor being the owner of all of the Units does hereby covenant, subject to the provisions of paragraph 3.3, with the Town and Stone Creek that:

NOTE

- (a) the Grantor shall not disturb, cause anyone to disturb, nor allow anyone to disturb the natural vegetation within the Non-disturbance Area of Units 1 through 12 inclusive and Unit 32;
- (b) the Grantor shall not undertake any development, cause anyone to undertake any development, nor allow anyone to undertake any development within the Non-disturbance Area of Units 1 through 12 inclusive and Unit 32;
- (c) the Grantor shall not erect, cause anyone to erect, nor allow anyone to erect any fence within or adjoining the Non-disturbance Area of Units 1 through 12 inclusive and Unit 32.

3.2 For purposes of the covenants contained in paragraph 3.1:

- (a) "Non-disturbance Area" for Units 1 through 12 inclusive and Unit 32 shall mean the area of each of the said Units fifteen (15) metres in perpendicular width measured from the property lines adjoining Block 2.
- (b) "Development" shall have the same meaning as that contained in clause 1(c) of the Planning Act (Alberta) as at the date of the execution of this Agreement.

3.3 The Town and Stone Creek agree with the Grantor that the provisions of paragraph 3.1 shall not preclude the Grantor from constructing or installing underground utilities within the Non-Disturbance Area of Unit 32; PROVIDED:

- (a) that underground utilities shall mean underground waterlines, sanitary sewerlines, storm sewerlines, natural gas lines, electric power lines, telephone lines and similar utility services;
- (b) that all reasonable precautions are taken to protect the soil stability of the Non-Disturbance Area of Unit 32 and that all construction and installation will be undertaken in a workmanlike manner and in accordance with sound engineering and construction practices;
- (c) that all areas disturbed in the course of the construction and installation of any underground utilities shall be restored to a state equivalent to that which existing prior to the construction and installation of the underground utilities.

3.4 The Grantor agrees with the Town and Stone Creek that the purposes of the covenants contained in paragraph 3.1 are to protect the stability of the Non-disturbance Areas, to preserve the natural state of the Non-disturbance Areas and to allow a corridor for the passage of wildlife, all of which are of benefit to all of the Units as well as adjacent lands.

NOTE

3.5 The Grantor agrees with the Town and Stone Creek that for purposes of the covenants contained in paragraph 3.1:

- (a) Units 1 through 12 inclusive and Unit 32 are both dominant and servient tenements inter se;
- (b) Units 1 through 12 inclusive and Unit 32 are servient tenements in respect to the dominant tenements set forth in clause 3.5(c);
- (c) Units 13 through 31 inclusive, Unit 33, Block 2 and Lot 7 ER are all dominant tenements.

ARTICLE 4. - RESTRICTING DEVELOPMENT WITHIN
TEN METRES FROM THE CREST OF SLOPES

4.1 The Grantor being the owner of all of the Units does hereby covenant with the Town and Stone Creek that:

- (a) no buildings nor permanent structures shall be constructed nor placed upon any portion of any Unit which is within ten (10) metres of the crest of any slope which is twenty-five (25%) percent or greater in decline;
- (b) no buildings nor permanent structures shall be constructed nor placed upon any portion of any Unit which, after the construction or placement of the building or permanent structure would result in a slope stability factor of less than 1.5 in respect to any slopes located within or adjacent to the particular Unit.

4.2 The Grantor agrees with the Town and Stone Creek that for purposes of the covenants contained in paragraph 4.1:

- (a) "Slope Stability Factor" shall mean the ratio that the sum of the resisting moments on a slope bears to the sum of the overturning moments on a slope;
- (b) the location of the crest and toe of a slope, and the Slope Stability Factor, shall be determined by a properly certified Geo-technical Engineer and the location of the crest and toe of a slope shall be mapped.

4.3 The Grantor agrees with the Town and Stone Creek that the purposes of the covenants contained in paragraph 4.1 is to minimize the possibility of slope failure within or adjacent to any of the Units and that this will be of benefit to all of the Units and to properties adjacent to the Units.

4.4 The Grantor agrees with the Town and Stone Creek that for purposes of the covenants contained in paragraph 4.1:

NOTE

- (a) Units 1 through 33 inclusive are both dominant and servient tenements inter se;
- (b) Units 1 through 33 inclusive are servient tenements in respect to the dominant tenements set forth in clause 4.4(c);
- (c) Block 2 and Lot 7 ER are all dominant tenements.

ARTICLE 5. - RESTRICTING ALTERATION OF SURFACE GRADES

5.1 The Grantor being the owner of all of the Units does hereby covenant, subject to the provisions of paragraphs 5.2 and 5.3, with the Town and Stone Creek that:

- (a) the Grantor shall prepare, to the satisfaction of the Town and subject to the Town's approval, a drainage plan for stormwater management within and adjacent to the BareLand Condo Subdivision, which plan shall indicate the drainage patterns for each of the Units and shall show the grades and elevations at each corner for each of the Units and at the unit perimeter setting out points shown on the plan of survey for the BareLand Condo Subdivision;
- (b) upon the drainage plan being approved by the Town, the Grantor and the Town shall endorse six (6) copies of the drainage plan and the drainage plan as endorsed shall govern for purposes of determining compliance with the covenants contained in this article;
- (c) as part of the Grantor's obligations under the Subdivision Servicing Agreement, the Grantor shall, to the satisfaction of the Town do or cause to be done such grading and earth moving work as required to put in place the final grades and elevations and drainage patterns shown on the drainage plan approved by the Town;
- (d) the Grantor shall not alter, cause to be altered nor allow to be altered within any of the Units the final constructed grades and elevations and drainage patterns which have been put in place in conformity with the drainage plan approved by the Town;
- (e) the Grantor shall not within nor adjacent to any of the Units:
 - (i) construct nor place any material, thing or structure whatsoever;
 - (ii) cause nor allow anyone to construct or place any material, thing or structure whatsoever;
 - (iii) construct any swales or change any grades or elevations;

which obstruct, change or in any manner interfere with the drainage flows or patterns as shown on the drainage plan approved by the Town.

NOTE

5.2 The Town agrees with the Grantor and Stone Creek that the covenants contained in clauses 5.1(d) and (e) shall not prevent nor preclude the construction of single family dwellings and structures accessory thereto (hereinafter referred to as "Residential Structures") within Units 1 through 30 inclusive, which shall be allowed provided;

- (a) The location and the elevations of the Residential Structures at grade for each Unit shall first be approved by the Town in writing, such approval not to be withheld unreasonably, in order to ensure that the location and the elevations of the Residential Structures at grade shall not cause any substantial change to the general drainage patterns as those patterns are provided within the drainage plan approved by the Town;
- (b) The approval of the Town referred to in clause (a) of this paragraph 5.2 may be obtained by an Owner at any time prior to or concurrently with the issuance of any permit or license required for the construction of the Residential Structures;
- (c) The construction of the Residential Structures shall not directly nor indirectly cause any alteration as shown on the approved drainage plan to the grades and elevations at each corner of each of the Units and grades and elevations at the unit perimeter setting out points referred to in clause 5.1(a).
- (d) The construction of the Residential Structures shall comply with all zoning and land use by-laws and legislation in place at the time of the construction of the Residential Structures.


5.3 The Grantor agrees with the Town and Stone Creek that the Town may, if considered by the Town to be necessary or appropriate to facilitate the construction of Residential Structures within any of the Units, make minor amendments or changes to the approved drainage plan, it being understood and agreed that the Town shall be the sole judge of what constitutes a minor amendment or change.

5.4 The Grantor agrees with the Town and Stone Creek that for purposes of the covenants contained in clauses 5.1(d) and (e):

- (a) Units 1 through 33 inclusive are both dominant and servient tenements inter se;
- (b) Units 1 through 33 inclusive are servient tenements in respect to the dominant tenements set forth in clause 5.4(c);
- (c) Block 2 and Lot 7 ER are all dominant tenements.

NOTE

ARTICLE 6. - ACCESS PROVISION FOR MASTER TRAIL SYSTEM

- 6.1 The Grantor being the owner of all of the Units does hereby grant to the Grantees, for the benefit of the lands hereinafter described, the right, privilege and easement across Unit 33 and a portion of Unit 32 for the purposes of providing public access between Block 7 and the public trail system contemplated in By-law 30-90 of the Town, as amended (Hyatt Regency Canmore at Banff National Park Master Plan).
- 6.2 The Grantor and the Grantees agree that for purposes of the covenants contained in paragraph 6.1 that the portion of Unit 32 in respect of which the right, privilege and easement is granted is the area identified on the plan of survey filed as instrument 941 1406 at the Land Titles Office for the South Alberta Land Registration District. 
- 6.3 The right, privilege and easement described in paragraph 6.1 shall be subject to the following conditions:
- (a) the right, privilege and easement shall include the right of passage across Unit 33 and the specified portion of Unit 32 by the public at large including the use of non-motorized vehicles such as bicycles and similar conveyances;
 - (b) the right, privilege and easement shall include the rights of ingress, egress and regress across Unit 33 and the specified portion of Unit 32 for the purposes specified herein;
 - (c) the owners of Blocks 3 and 9, but only with the prior written approval of the Town, shall have the right to post and enforce reasonable rules and restrictions on the right of passage to minimize or eliminate nuisances.
- 6.4 The Grantor and the Grantees agree that the covenants and conditions contained in paragraphs 6.1 and 6.3 are to the benefit of both the general public and to certain specific lands adjacent to Unit 32 and Unit 33, and accordingly, the Grantor and the Grantees further agree that for purposes of paragraphs 6.1 and 6.3:
- (a) Unit 32 and Unit 33 are servient tenements;
 - (b) Units 1 through 31 inclusive, Block 2, Block 3, Block 9 and Lot 7 ER are all dominant tenements.

NOTE

ARTICLE 7. - GENERAL

- 7.1 All of the covenants, conditions, restrictions and easements herein placed upon the servient tenements shall be covenants running with the land and shall be binding upon the Grantor and its assigns and successors in title and upon all subsequent owners of the servient tenements and shall enure to the benefit of the owners, from time to time, of the dominant tenements.

- 7.2 All of the covenants, conditions, restrictions and easements herein placed upon the servient tenements shall not be extinguished in the event that title to ownership of any of the servient tenements which shall adjoin each other shall be vested in the same person, and if any such extinguishments shall occur and title for such adjoining lands shall thereafter be divested from such common ownership, then and in such event the successors in title to each of the servient tenements shall be and remain bound to and in respect of the covenants, conditions, restrictions and easements herein granted and the owners of the dominant tenements from time to time, shall be entitled to the benefits contained herein.
- 7.3 All of the covenants, conditions, restrictions and easements herein placed upon the servient tenements, except as specifically otherwise herein provided, shall be perpetual in nature and shall not be varied, altered, modified or surrendered without the prior consents in writing of the owners from time to time of the dominant tenements, as well as the prior written consent of the Town.
- 7.4 In the event that any provision contained herein is determined by a Court of competent jurisdiction to be invalid and unenforceable to any extent, or contrary to law, the remainder of the provisions contained herein, including all other covenants, conditions, restrictions and easements, shall not be affected thereby and shall remain valid and enforceable in accordance with their terms to the fullest extent permitted by law.
- 7.5 The owner or owners of each dominant tenement and the Town may, with respect to any breach of the obligations herein imposed, enforce the provisions of this Agreement, and the covenants, conditions, restrictions and easements herein contained, and may, without restricting any other remedies which may be available at law or in equity, apply to a Court of competent jurisdiction restricting such breach by injunction.
- 7.6 This Agreement may be registered at the Land Titles office for the South Alberta Land Registration District against the lands affected by the provisions contained herein.
- 7.7 The Grantor and Grantees agree that no action shall lie against the Grantor for damages, or otherwise, for a breach of the covenants, conditions, restrictions and easements contained in this Agreement, unless the Grantor as owner of a servient tenement is alleged and proven to be in breach of any one or more of the covenants, conditions, restrictions and easements contained herein; AND FURTHER, the provisions of this paragraph shall constitute an absolute defence to any such action and may be pleaded as such.
- 7.8 A waiver by any of the parties hereto of the strict performance by any other party of any covenant or provision of this Agreement shall not of itself constitute a waiver of any subsequent breach of such covenant or provision, or of any other covenant or provision of this Agreement.
- 7.9 The parties hereto shall execute and deliver all further documents and assurances reasonably necessary to give effect to this Agreement and to discharge the respective obligations of the parties.

IN WITNESS WHEREOF the parties hereto have hereunto affixed their corporate seals attested to by their duly appointed officers in that behalf as of the day and year above written.

RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT

Page 11.

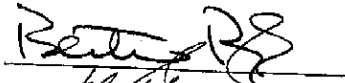
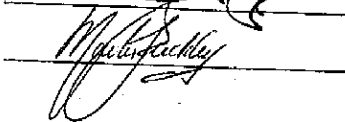
GRANTOR

STONE CREEK PROPERTIES INC.



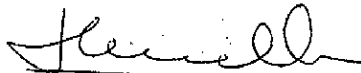
GRANTEE:

TOWN OF CANMORE

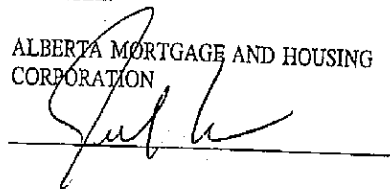
GRANTEE:

STONE CREEK PROPERTIES INC.



GRANTEE:

ALBERTA MORTGAGE AND HOUSING
CORPORATION



April 3, 2025

The Town of Canmore
902 7th Avenue
Canmore, AB
T1W 3K1

To whom it may concern

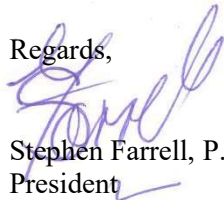
RE: 12 BLUE GROUSE RIDGE, CANMORE

This letter is to confirm that VerdaTech Energy Management and Consulting Inc has been hired to complete the EnerGuide rating for the above noted project. As per section 10.3.1.2, the enhanced Green Construction Protocols will be met. An EnerGuide Rating better than 20% of a typical new home will be the target that we will be working towards.

We will complete a plan evaluation and on completion of the building we will attend the site to complete the required blower door test and site verification. The official registered label and rating will be provided to the owner thereafter.

I trust that the above is clear and to your satisfaction, but should you require any further information please do not hesitate to me directly.

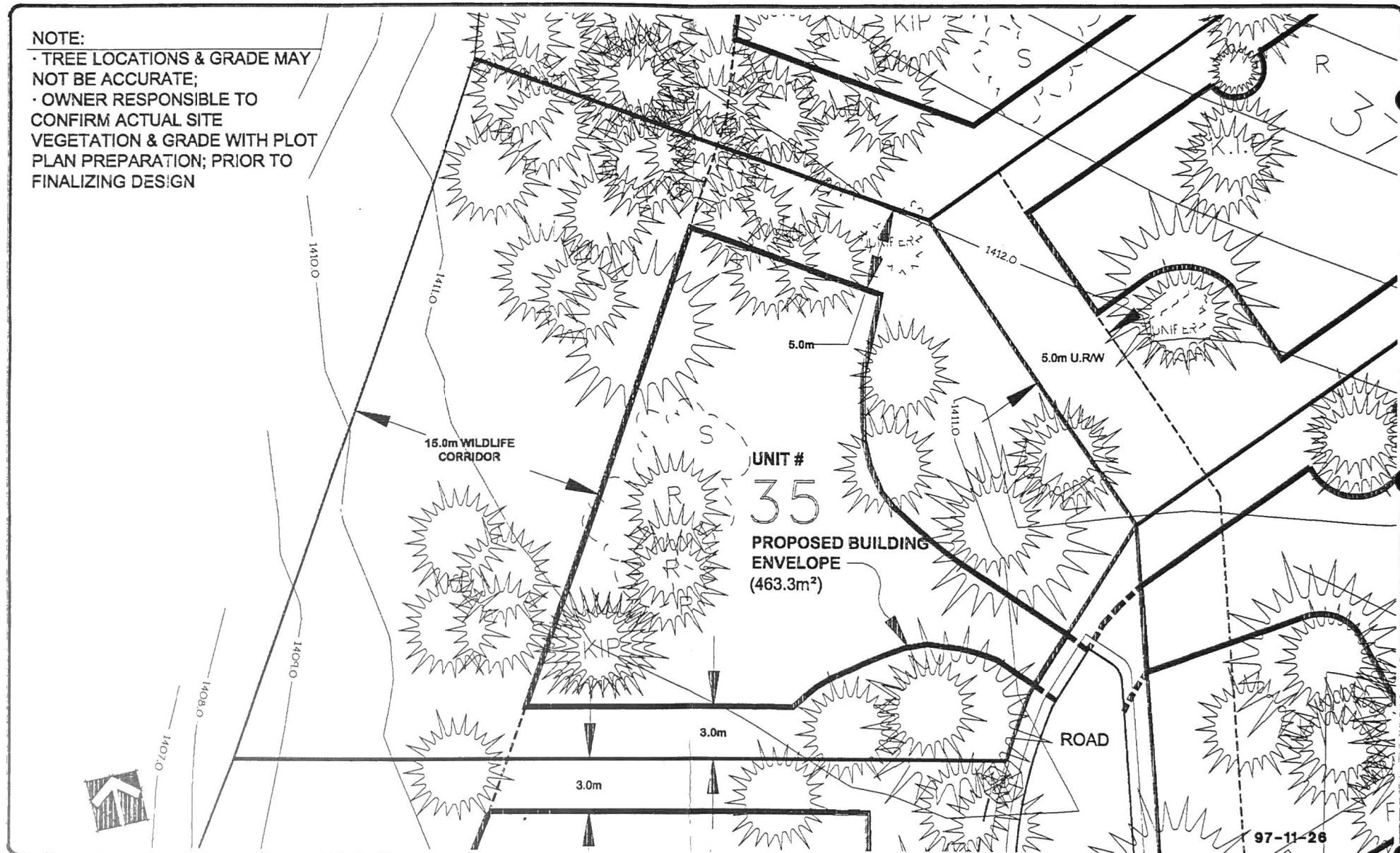
Regards,



Stephen Farrell, P.L. (Eng), CEM
President

NOTE:

- TREE LOCATIONS & GRADE MAY NOT BE ACCURATE;
- OWNER RESPONSIBLE TO CONFIRM ACTUAL SITE VEGETATION & GRADE WITH PLOT PLAN PREPARATION; PRIOR TO FINALIZING DESIGN



97-11-26



SILVERTIP

TITLE

BLOCK 7 UNIT 35 (PREVIOUSLY LOT 11)

SUBTITLE

PROPOSED BUILDING ENVELOPE LOCATION

0 5 10 15 METRES

SCALE: 1:200

SHEET:
1 OF 1

FILE:
LS3101-2



**russell
and
russell**
design studios
#200 817 main street
canmore alberta t1w 0b9
info@russellandrussell.ca
403 678 3003

Rationale Letter – Family Vacation Home **Request for Variance for additional GFA and no ADU**

At 12 Blue Grouse Ridge, SilverTip, Canmore

Tuesday, 25 February 2025

Provided to: Tim and Liz Welsh

Planning and Development Department,

The Welsh's are building a vacation home for their family in the last lot in Blue Grouse Ridge. We're excited to be able to work on this spectacular lot and after almost 30 years complete this wonderful neighbourhood.

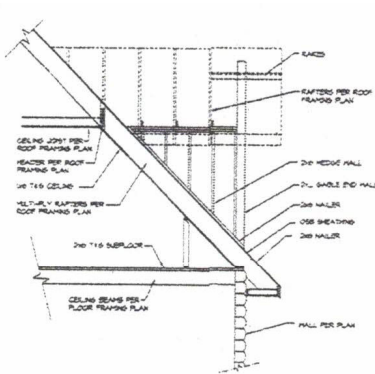
The proposed dwelling is on a 1485.15 m² lot on the lower Silvertip bench overlooking the valley to the southwest. As is typical with Silvertip lots the setbacks are significantly larger than Town standards and include 3 m and 5 m sideyard setbacks with a 15 m rear setback. With these large setbacks the site coverage is a modest 25%, the allowable site coverage is 40%. These setbacks create a small footprint on a generous lot resulting in a home that does not overshadow any neighbours. In addition, the Welsh's have chosen a 2 storey building to further ensure their home sits well in the mature neighbourhood. The total GFA of the home is 571.4 m² which is 51.6 m² or 9% over the maximum GFA of 0.35 or 519.8 m².

As this is the last home to be built in Blue Grouse Ridge and due to the generous lot, small footprint, 2 storey home and that no other homes in this district have been restricted in this way we would like to ask for a variance to the maximum GFA.

The proposed dwelling is for family use, and they do not require an ADU. Due to the age of this subdivision and the changes to ADU bylaws there are no homes with ADUs in this district currently.

Yours truly,

alasdair russell B. Des. (hons), M. Des.
for **russell and russell design studios**



Valley Engineering Ltd.

BRITISH COLUMBIA ALBERTA SASKATCHEWAN

Feb.5, 2025

Allweather Builders
PO Box 8253,
Canmore, Alberta.
T1W-2T9

Attention: T. Weatherhog

Re: New Residence – 12 Blue Grouse Ridge, Canmore, Alberta


Gentlemen;

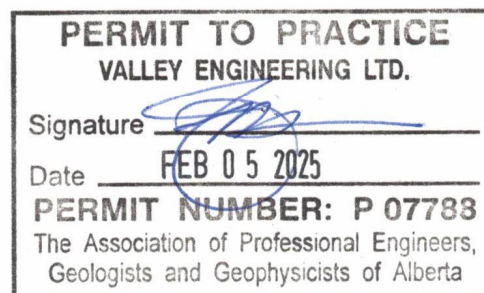
This letter will confirm that we have been retained to provide the necessary structural review for the above noted project as follows:

1. Review of drawings prepared for you with respect to confirmation of member sizing, point loads and foundations.
2. Review of framing shop drawings.
3. Final framing review to ensure compliance with shop drawings.

We trust that the above is satisfactory. Should you have any questions, please do not hesitate to contact us.

Yours truly,
Valley Engineering Ltd.


Jamie Fukushima, P.Eng.



CONFIRMATION OF ENGAGEMENT

To: Colleen Weatherhog
Allweather Builders
Re: 12 Blue Grouse Ridge
Canmore, Alberta

Project Number: 214-006
Project Type: Single Family Residential
Report Date: February 6, 2025

As requested, Factor Geotechnical Ltd. (Factor) has been retained to provide engineering services during construction of the proposed residential development at the above-noted address. Factor's scope of work will include:

- Conduct soil bearing inspections as needed, once foundations are excavated to design grade.
- Provide an allowable bearing capacity for the inspected soil.
- Provide recommendations related to footing dimensions and concrete reinforcing, if necessary
- Design, inspect, and provide certification for any retaining wall systems required on site.
- Inspect the site to ensure compliance with specifications applicable to Factor's scope.
- Provide a Letter of Compliance upon completion of the development.

We trust this document meets the current requirements of the project. Please contact the undersigned with any questions or if you wish to discuss the contents of this letter.

Sincerely,

Richard Nadori, M.Eng., P.Eng.
Geotechnical Engineer

Tim and Elizabeth Welsh

[REDACTED]
St. Paul MN

55116 USA

Feb 4th 2025

Town Of Canmore

902 7th Ave

Canmore Alberta

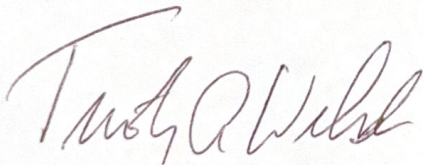
T1W 3 K1

Dear Sir/Madame,

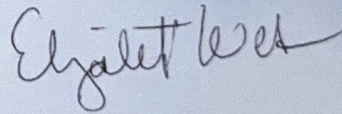
RE Permit Applications # 12 Blue Grouse Ridge Canmore Ab T1W 1L5

Please accept this letter as authorization for Allweather Builders Ltd. To apply for development and building permits for # 12 Blue Grouse Ridge Canmore AB T1W 1L5

Plan 9612010 Unit 35



Tim Welsh



Elizabeth Welsh

DESIGN REVIEW GROUP

STEP 5. CONCEPT ENDORSEMENT & APPROVAL BLUE GROUSE RIDGE, SILVERTIP

Following the Design Review Group's assessment of the applicant's Step 5 submission, the DRG can provide our concept endorsement and approval for the following lot and applicant. Details of the approved submission are attached.

Concept endorsement details:

SilverTip Lot/Unit LOT 12 Municipal Address 12 BLUE GROUSE RIDGE, CANMORE

Subdivision Name BLUE GROUSE RIDGE

Client/Lot Owner TIM & LIZ WELSH

Lot Owner Contact Email timwelshmsp66@gmail.com

Applicant Alasdair Russel - Russell and Russell Design Studios

Applicant Contact Email ar@russellandrussell.ca

Step 5 Designs Submitted By Alasdair Russell Date 2025-03-05 & 2025-02-06

Approved & Endorsed on behalf of DRG By Kinjal Ribadia (B&A) Date 2025-03-06

Approved on behalf of Stone Creek by A. Turcotte Alex Turcotte Date 2025-03-10

APPENDIX B**BUILDING PLAN APPROVAL APPLICATION FORM**

This Building Plan Approval Application Form must be completed by the Owner and submitted along with all required plans and other documents for Detail Design Final Submission/Review.

Description of Item	Recommended Drawing Scale	# of Copies
Building Plan Approval Application		3
Plot Plan (Survey)	1:200 metric, (1/16"=1'-0")	3
Site Plan	1:100 metric, (1/8"=1'-0")	3
Roof Plan and Floor Plans	1:50 metric, (1/4"=1'-0")	3
Exterior Elevations	1:50 metric, (1/4"=1'-0")	3
Sections	1:100 metric, (1/8"=1'-0")	3
Landscape Plan	1:200 metric, (1/16"=1'-0")	3
Drainage/Storm Water Plan	1:200 metric, (1/16"=1'-0")	3
Construction Limits Plan	1:200 metric, (1/16"=1'-0")	3
Exterior Lighting and Signage Plan	1:200 metric, (1/16"=1'-0")	3
Colour Board	no larger than 9"x12"	1
Construction Schedule		3
Notarized copy of special easements		3

With this application, the Owner shall provide details of all relaxations proposed to maintain compliance with these Design Guidelines. This shall include any development variance which has been obtained or will be requested from the Town of Canmore. It is the applicant's responsibility to provide reasons why the relaxation should be approved as well as justification and precedent to support the relaxation.

APPENDIX B

BUILDING PLAN APPROVAL APPLICATION FORM

Building Summary

Description of Item	Size (m)		Size (ft)	
Basement (Total Area)	m ²		ft ²	
Ground Floor (Total Area)	312.2	m ²	3360	ft ²
Second Floor (Total Area)	255.9	m ²	2755	ft ²
Proposed Building Height	9.26	m	30'-4 1/2"	ft

Does proposed building height meet current Town of Canmore Land Use Bylaw Building Height Requirements (If NO, provide a copy of approved relaxation from Town of Canmore)?



Yes



No

12:12, 8:12, 6:12, 4:12

Roof Pitch (ie. 6:12)

Primary Roof Style

Gable

Basement Finished Floor Elevation	m	ft
Ground Floor Finished Floor Elevation	1411.53 m	ft
Second Floor Finished Floor Elevation	1414.67 m	ft

Description of Item	Distance	
Front Yard	9.41	m
Left Side Yard	3.17	m
Right Side Yard	3.15	m
Rear Yard	16.09	m

Indicate distance from property line
to edge of foundation wall at nearest point

APPENDIX B

BUILDING PLAN APPROVAL APPLICATION FORM

Building Materials

Item	Material	Colour	Other Specifications
Roof	IKO - Cambridge	asphalt shingles – Dual Black	
Walls (Lower)	Texel – vertical lapped 8” (7” exposure)	Adobo - Graphite	
Walls (Upper)	Texel – vertical lapped 8” (7” exposure)	Adobo - Graphite	
Walls (Other)	-		
Stonework	Montana moss rock	Dry packed	
Garage Doors	CHI – Shoreline accent cedar w/ glass panels		
Entrance Doors	Custom - Douglas Fir	Sansin – Clear Coat	
Window Trim	Texel – 6”	Adobo - Graphite	
Soffit	1” x 6” t&g hemlock soffit	Sansin – Clear Coat	
Fascia	Texel - 8” on 10” (8” exposure)	Adobo - Graphite	
Eavestrough	extruded aluminium	black	
Chimney	Montana moss rock	Dry packed	
Other (List)	Entry and Garage Roofs - Copper	Standing Seam	

BUILDING PLAN APPROVAL APPLICATION FORM

Item

Colour

Other Specifications

Walkway (Front)

Walkway (Other)

Entrance Walkway

Rear Patio / Deck

Driveway

Retaining Walls

Screen Walls

Other (List)

APPENDIX B

BUILDING PLAN APPROVAL APPLICATION FORM

Landscaping *(Continued)*

Is there plant material available on your building site that is to be removed for construction of the home and that is available for transplanting to other homesites at SilverTip?

☒ Yes ☐ No

Do you require plant material for your homesite that is available for transplanting from other homesites at SilverTip?

☒ Yes ☐ No

What plant material do you have available on your site for other homesites? Please use another sheet of paper if required for listing material available or material requested.

Trees (Description/#)	Shrubs (Description/#)	Turf-Mat (Description/#)
1.	1.	1. 150 m2 of turf-mat
2.	2.	2.
3.	3.	3.
4.	4.	4.

What plant material could you use on your homesite, if available, from other homesites? Please use another sheet of paper if required for listing material available or material requested.

Trees (Description/#)	Shrubs (Description/#)	Turf-Mat (Description/#)
1.	1.	1. wide range of flora -100mm
2.	2.	2.
3.	3.	3.
4.	4.	4.

APPENDIX B

BUILDING PLAN APPROVAL APPLICATION FORM

Landscaping *(Continued)*

A total of 1 tree is required per 37 m² of front yard area is required (see Section 6.3). Credit is given for existing trees located within the front yard that are to be retained. The difference shall be installed by the Owner. Note that plant material obtained from other building sites is to be utilized to supplement the plant material required in this section and shall not be counted as part of the required planting. The following table summarizes the requirements of this section:

Total area of front yard 234 m²

Required Tree Planting	# of Trees
Total trees required in front yard (1 tree per 37m ² of front yard is required)	7
LESS: Total number of existing trees to be retained in front yard	2
Total number of new trees required to be planted in front yard	5

Proposed Tree Planting	# of Trees
Total number of tree proposed to be planted in front yard	5 - species
Total number of trees proposed to be planted on remainder of property	0

APPENDIX B

BUILDING PLAN APPROVAL APPLICATION FORM

Time Limitation of Approval

Final approval of plans is valid for ninety (90) days. Construction must begin within this period. If not, plans must be resubmitted for review by the DRG.

Work in Progress

Stone Creek Properties Inc. ("SCPI") and/or its delegates may inspect all work in progress and give notice of non-compliance. Absence of such inspection and notification during the construction period does not constitute either approval or compliance of the work in progress by SCPI and/or its delegates.

Non-Liability of the Design Review Group, SCPI, SilverTip and/or its Consultants

SCPI, SilverTip and/or their Consultants shall not be liable for damages to anyone submitting plans to them for approval or to any Owner by reason of mistake in judgment, negligence, or nonfeasance arising out of or in connection with the approval, disapproval or failure to approve any plans or specifications. Every Owner or other person who submits plans to SCPI, SilverTip and/or their Consultants for approval agrees by submittal of such plans and specifications that he/she will not bring action or suit against the SCPI, SilverTip and/or their Consultants to recover damages.

Other Conditions

Approval of plans by SCPI, SilverTip and/or their Consultants shall not be deemed to constitute compliance with the requirements of any local building, zoning, safety, health or fire codes and shall be the responsibility of the Owner or other person submitting plans to assure such compliance. Nor shall approval waive any requirements on the part of the Owner or his/her agent to comply with setbacks, height restrictions, or requirements unless such waiver or variance is specifically requested at the time of submittal and provided that the waiver or variance may properly be granted by the Town of Canmore, SCPI, SilverTip and/or their Consultants. In addition, approval shall not waive the requirements for obtaining permits from the Town of Canmore (or any other governmental agency) nor does obtaining all required permits from the Town of Canmore (or any other governmental agency) waive the need for approval by SCPI, SilverTip and/or their Consultants. SCPI, SilverTip and/or their Consultants will not knowingly approve a project that violates Town of Canmore building or zoning codes or those of any other governmental agency or entity, but takes no responsibility for plan conformance to any criteria other than these Design Guidelines.

PLOT PLAN FOR DP

LEGAL DESCRIPTION

UNIT 35, BARELAND CONDOMINIUM PLAN 961 2010

MUNICIPAL ADDRESS

12 BLUE GROUSE RIDGE, CANMORE

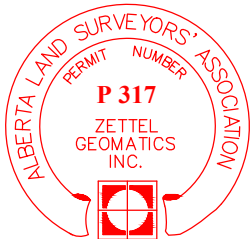
PREPARED FOR

LIZ AND TIM WELSH

NOTES

- The survey was completed on September 19th, 2022.
- Distances and elevations are in metres.
- Elevations are geodetic (add 1400.00) and referenced to CGVD28 vertical datum.
- Land use classification of property is R1.
- Lot area 1485 m²
- Footprint 380 m² 25.6 % (Dwelling)
4.8 m² 0.3 % (Canti)
- Sanitary invert 2.3 m inside property line 7.88
- Water invert at property line N/A
- Maximum roof elevation (LUB 2.8.3)..... 20.68 (Front)
20.64 (Rear)
- Garage slab at entrance 11.38
- Lower floor slab 11.53
- Roof peak 20.64
- 1:100 Year Design Ground Water Elevation N/A
- Existing elevations shown thus (10.59)
- Design elevations shown thus (10.59)
- Builder to determine frost wall depth.
- The builder is responsible to ensure that driveway grades do not exceed 10% and that they conform to municipality Engineering Design Standards.
- Approximate driveway grade: calculated as a straight line slope along the centerline of the driveway between the garage slab at entrance and the edge of asphalt and is shown thus 7.7%

CONTACT ALBERTA ONE CALL PRIOR TO
CONSTRUCTION: PHONE 1-800-242-3447

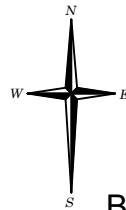


Dated at Canmore, Alberta on January 31st, 2025.

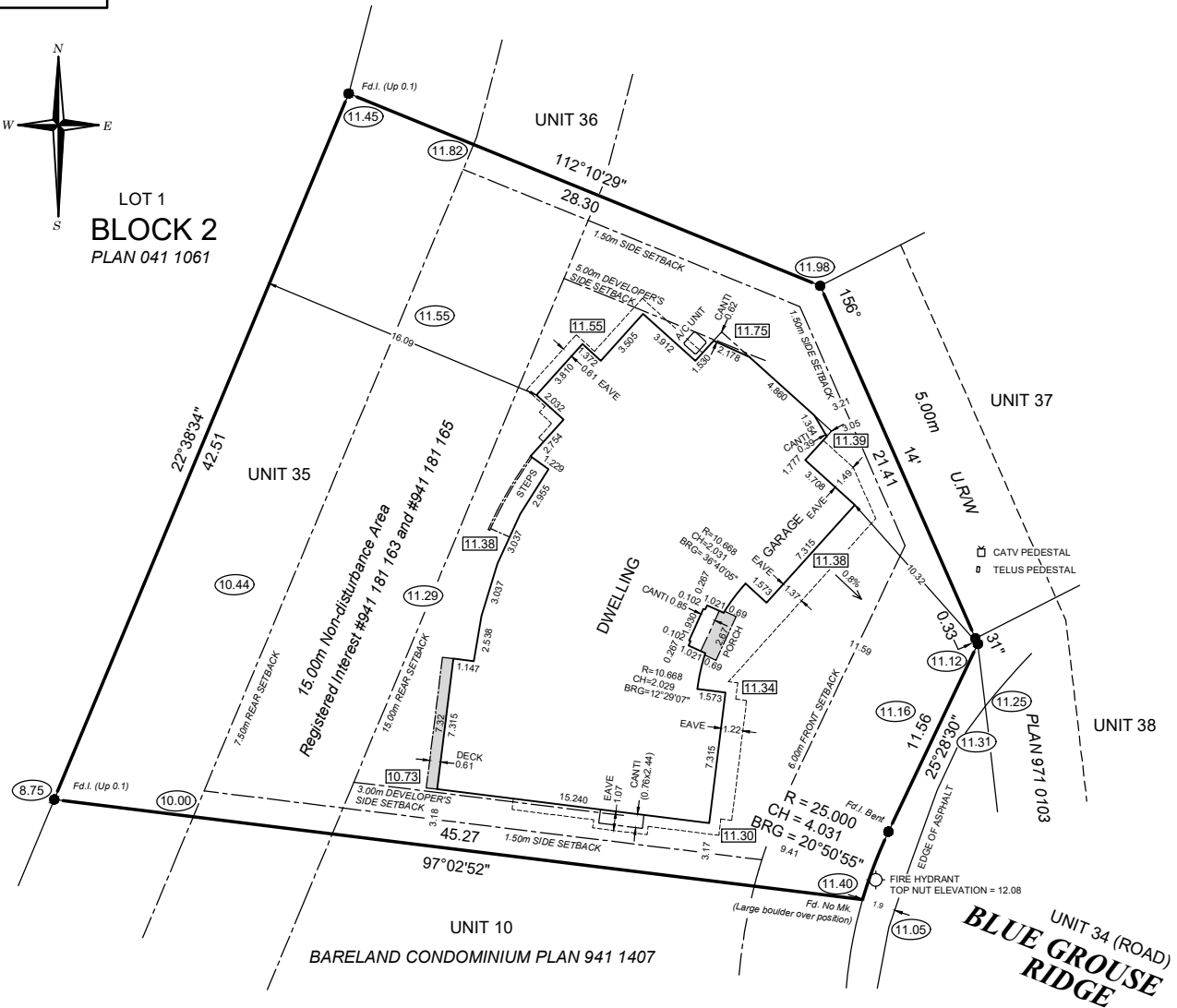
[Signature]
Jeremy T. Zettel, A.L.S.

© 2025 Zettel Geomatics Inc.

SCALE = 1:250



LOT 1
BLOCK 2
PLAN 041 1061



Zettel Geomatics Inc.
102, 112 Kananaskis Way
Canmore, Alberta T1W 2X2
(403) 678-1119
jeremy@zettelgeomatics.ca

File #: 22-051

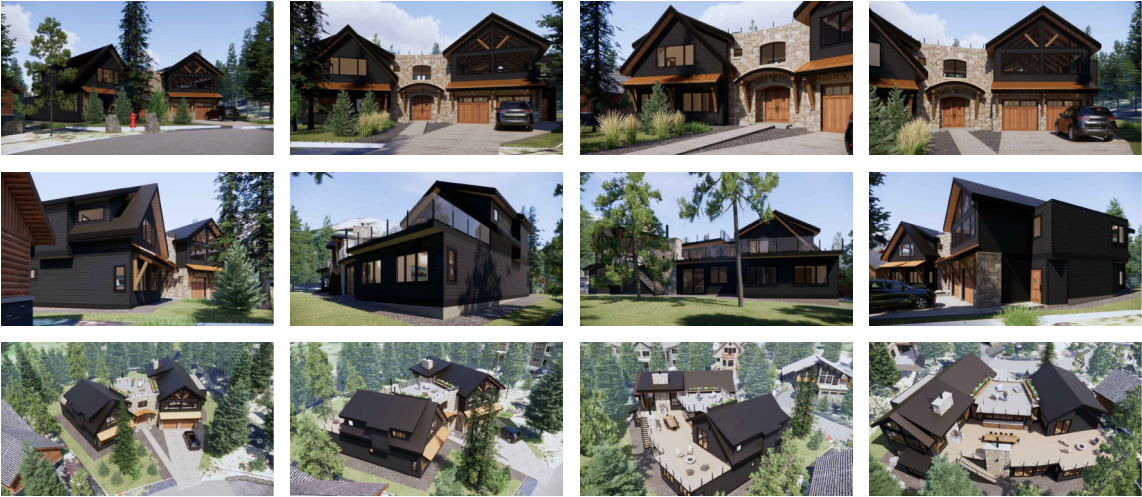
Drawing Name: 22-051DP.dwg

general construction notes

- 1 drawings are not to be scaled
- 2 all dimensions and installations are to be verified on site
- 3 contractor to comply to all current ALBERTA BUILDING CODE rules plus any and all authorities having jurisdiction during all phases of work
- 4 it is the contractors responsibility to bring all omissions, discrepancies, including dimensions, to the attention of the designer prior to the commencing of any work
- 5 any patching, repair, refinishing, reconstruction & repainting work required as a result of performance of work of this contract shall incorporate and be performed with materials to match same and shall require fire ratings
- 6 all dimensions are from face of eng. sheathing, face of stud, face of foundation or to grid lines unless noted as being a clear dimension. clear dimensions are from face of finished to face of finished surface
- 7 where "TYPE X" gypsum wall board is noted on drawings, provide fire-rated gypsum wall board with U.L.C. label
- 8 pre-drilled inserts are to be used when attaching or fastening materials or fittings to masonry or concrete walls, floors, slabs or ceiling assemblies
- 9 refer to eng. drawings and specifications for reinforcing and core filling of masonry walls at wall openings, corners & terminations unless noted otherwise
- 10 where indicated on electrical drawings, provide 19mm/3/4" plywood backing to sides noted for surface mounting electrical panels. paint prior to installation
- 11 provide solid blocking (2"x6") in stud partitions behind all recessed or flush mounted equipment & accessories at all anchor points
- 12 it is the contractors responsibility to coordinate his own forces & his sub trades to ensure that holes cut for penetrations through the exterior wall systems are not oversized. after installation of any penetrations, the voids between the penetration opening and the penetration materials shall be completely sealed to ensure the integrity of the air/vapour barrier
- 13 where architectural, eng., mechanical or electrical installations penetrate wall and/or floor assemblies seal any such penetrations with fire rated acoustic sealant & maintain required fire rating & acoustic minimums
- 14 these architectural drawings shall be read in conjunction with eng. engineer's letter, notes and shop drawings as well as mechanical & electrical drawings & roof truss/ joist supplier/ manufacturer's drawings
- 15 approved primer shall be used on all peel and stick products
- 16 all wood cladding products including siding, knee braces, wall shingles, trim and boards shall be back primed prior to installation
- 17 all through wall flashings shall be complete with a 100mm/4" high back leg. all horizontal laps shall be minimum 150mm/6" minimum & should be caulked. a through wall flashing is required at all horizontal expansion joints, building band trims & below gable end louvre vents
- 18 all exterior fasteners shall be hot dipped galvanized
- 19 all side wall vents; furnaces, boilers, driers & bathroom vents shall be back caulked at the vent flanges (top & sides) to a piece of 60 minute flashing paper placed behind the vent. all of the surrounding field paper shall then be placed over the top and side vent flanges. do not place the building paper over the bottom flange. provide a drip cap flashing with end dams over all vents. caulk the sides of the vents to the cladding
- 20 all exterior electrical outlet penetrations through the wall sheathing shall be placed through a small hole in a 300mm x 400mm/12"x16" piece of EPDM roofing so that the EPDM stretches & laps the sides of the box out to the face. this shall be lapped shingle style into the building paper. all surface mounted light pans shall be complete with flashing paper behind the pan prior to it's installation. caulking around where it penetrates the flashing paper, which shall be lapped shingle style into the building paper. provide an appropriate vinyl trim finish kit to all of the penetrations
- 21 all exterior hose bibs are to be placed through a 6mm/1/4" hole in the center of a 300mm x 300mm/12"x12" piece of EPDM roofing. this shall be lapped shingle style into the building paper. provide an approved vinyl trim finish kit to all of the penetrations
- 22 ensure that all pre-finished metal capping to the wood fascias, deck trims and band boards are complete with positive drainage
- 23 any large mechanical grille openings on the elevations shall be prepared & finished in the same manner as the window assemblies
- 24 house to be mechanically ventilated by principle exhaust fan. switch for principle exhaust fan to be identified as ventilation switch
- 25 roof vents to be installed as per all applicable building codes. (unobstructed vent area shall be not less than 1/300 of insulated ceiling area or 1/150 on roof slopes of less than 1 in 6, unless otherwise noted)



welsh residence
12 blue grouse ridge



proposed conceptual renders

drawing index

- A0.1 cover sheet
- A1.1 existing site plan
- A1.2 proposed site plan
- A1.3 proposed landscape plan
- A1.4 key plan
- A1.5 foundation plan
- A2.1 lower floor plan
- A2.2 main floor plan
- A2.3 roof plan
- A2.4 main floor framing plan
- A2.5 roof framing plan
- A3.1 east (front) elevation
south-east (front) elevation
- A3.2 south-east (front) elevation
north-east (right) elevation
- A3.3 north-west (rear) elevation
north-west (rear) elevation
- A3.4 west (rear) elevation
south (left) elevation
- A5.1 building section A
building section B
building section C
construction data
- A5.2 building section D
building section E
building section F
construction data
- A5.3 building section G
site/building section H
construction data
- A5.4 building section I
construction data
knee brace details
- A6.1 construction details
construction data
- E1.1 lower floor electrical plan
- E1.2 upper floor electrical plan

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT: 35
BLOCK:
PLAN: 961 2010

CLIENT:
liz & tim welsh

ISSUED:
A: issued for D.P.
2025-02-06.
B: issued for framing/
structural review
2025-02-28
C: issued for review
2025-03-07
D: L.T.F notes revisions
2025-03-19
E: deck drainage
revisions
2025-03-20
F: DP revisions
2025-04-04

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www.russellandrussell.ca

SITE PLAN LEGEND:

- DISTANCES AND ELEVATIONS ARE IN METRES.
- ELEVATIONS ARE GEODETIC (ADD 1400.00) AND REFERENCED TO CGVD28 VERTICAL DATUM.

- EXISTING SPOT ELEVATIONS (ADD 1400.00 FOR GEODETIC)
- PROPOSED SPOT ELEVATIONS (ADD 1400.00 FOR GEODETIC)
- DRAINAGE ARROW
- TEMP. CONSTRUCTION FENCE
- SANITARY LINE (MIN. SLOPE 2%)
- WATER LINE

SITE AREA

1485.15 m²

SITE COVERAGE

ALLOWED: 594.06 m²
PROPOSED: --

SITE COVERAGE %

ALLOWED: 40.00 %
PROPOSED: --

MAX GFA

ALLOWED: 0.35 x 1418.15 = 519.8 m²
PROPOSED: --

MUNICIPAL ADDRESS

12 BLUE GROUSE RIDGE
CANMORE, AB

LEGAL DESCRIPTION

LOTS: 35
BLOCK: --
PLAN: 961 2010

LAND USE DESIGNATION

R-1

MAX ROOF HEIGHT

FRONT = 20.68m
REAR = 20.64m

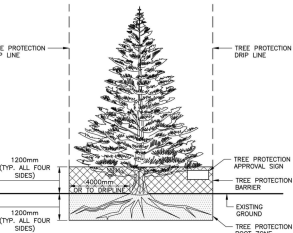
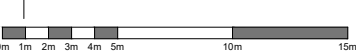
L.T.F. (ALLOWED)

8.20m

L.T.F. (PROPOSED)

--

existing site plan



tree protection diagram

tree protection measures

- tree protection fencing to be installed as per 'tree protection diagram'.
- prior to commencement of any site activity such as site alteration, demolition or construction, the tree protection measures specified must be installed.
- Alberta One Call must be called before you dig.
- removal of trees to be done outside of nesting season (February through to August), a bird sweep may be required.
- tree protection must remain in place and in good condition throughout site demolition and construction and must not be altered, moved or removed until authorized by the Town of Canmore.
- minimize impact to tree root systems during construction. Any tree root systems impacted during construction activities will need to be addressed through proper pruning techniques, pre-approval required.
- all pruning to be done by certified arborist or approved equivalent on approval of the Town.
- contractor to arrange for watering as needed (minimum of weekly visit) of existing trees during construction period. trees to be watered manually from a water truck.
- contractor to add 100mm of new bark mulch to tree protection zones.

EXISTING LANDSCAPING LEGEND	
	EXISTING PINE TREE TO REMAIN
	EXISTING DOUGLAS FIR TREE TO REMAIN
	EXISTING PINE TREE TO BE REMOVED
	EXISTING DOUGLAS FIR TREE TO BE REMOVED

UNIT 10
BARELAND CONDOMINIUM
PLAN 941 1407

LOT 1
BLOCK 2
PLAN 941 1061

UNIT 35

UNIT 36

UNIT 37

UNIT 38

EXISTING DWELLING
T/O MAIN FLOOR = 11.21

EXISTING DWELLING
T/O MAIN FLOOR = 16.29

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT:
BLOCK:
PLAN:
961 2010

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SITE PLAN LEGEND:

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- EXISTING SPOT ELEVATIONS (ADD 1400.00 FOR GEODETIC)
- PROPOSED SPOT ELEVATIONS (ADD 1400.00 FOR GEODETIC)
- DRAINAGE ARROW
- TEMP. CONSTRUCTION FENCE
- SANITARY LINE (MIN. SLOPE 2%)
- WATER LINE

PROPOSED LANDSCAPING LEGEND			
SYMBOL	SPECIES	SIZE	QUANTITY
	engelmann spruce <i>pike engelmannii</i> (evergreen tree)	3m height	2
	Siberian larch <i>larix siberica</i> (evergreen tree)	3m height	2
	trembling aspen <i>populus tremuloides</i> (deciduous tree)	75 mm caliper	1
	gravel or similar non-combustible groundcover		as required
	native grasses		as required

proposed landscape plan

1:100



EXISTING LANDSCAPING LEGEND	
	EXISTING PINE TREE TO REMAIN
	EXISTING DOUGLAS FIR TREE TO REMAIN
	EXISTING PINE TREE TO BE REMOVED
	EXISTING DOUGLAS FIR TREE TO BE REMOVED

PROJECT:

1326
welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT: 35

BLOCK: 2

PLAN: 941 1010

CLIENT:

liz & tim welsh

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2025-03-20

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2025-04-04

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PROJECT:

1326
welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT: 35

BLOCK: --

PLAN: 961 2010

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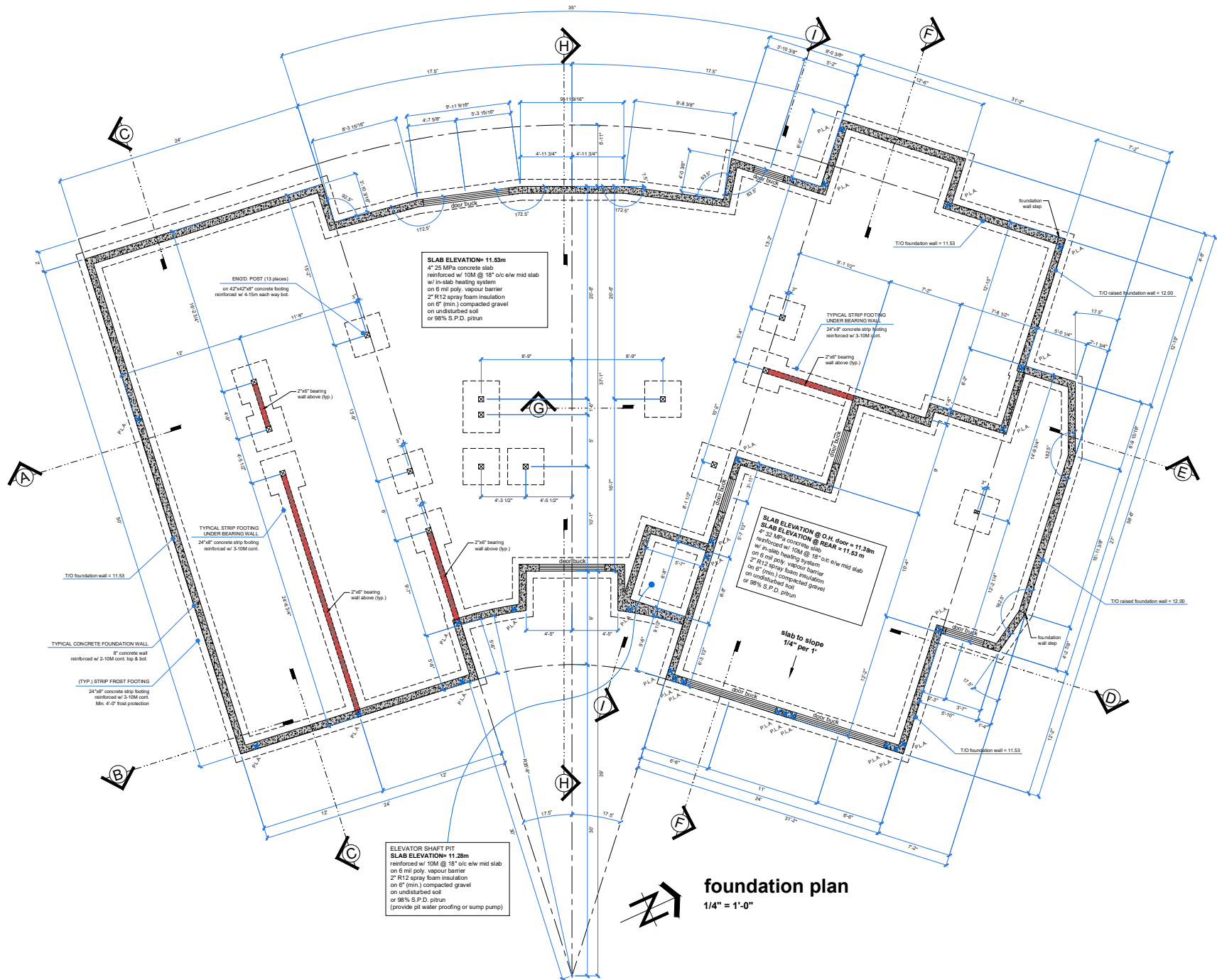
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foundation plan

1/4" = 1'-0"

PROJECT:

1326

welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT:

35

BLOCK:

PLAN

961 2010

CLIENT:

liz & tim welsh

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revisions

2025-03-20

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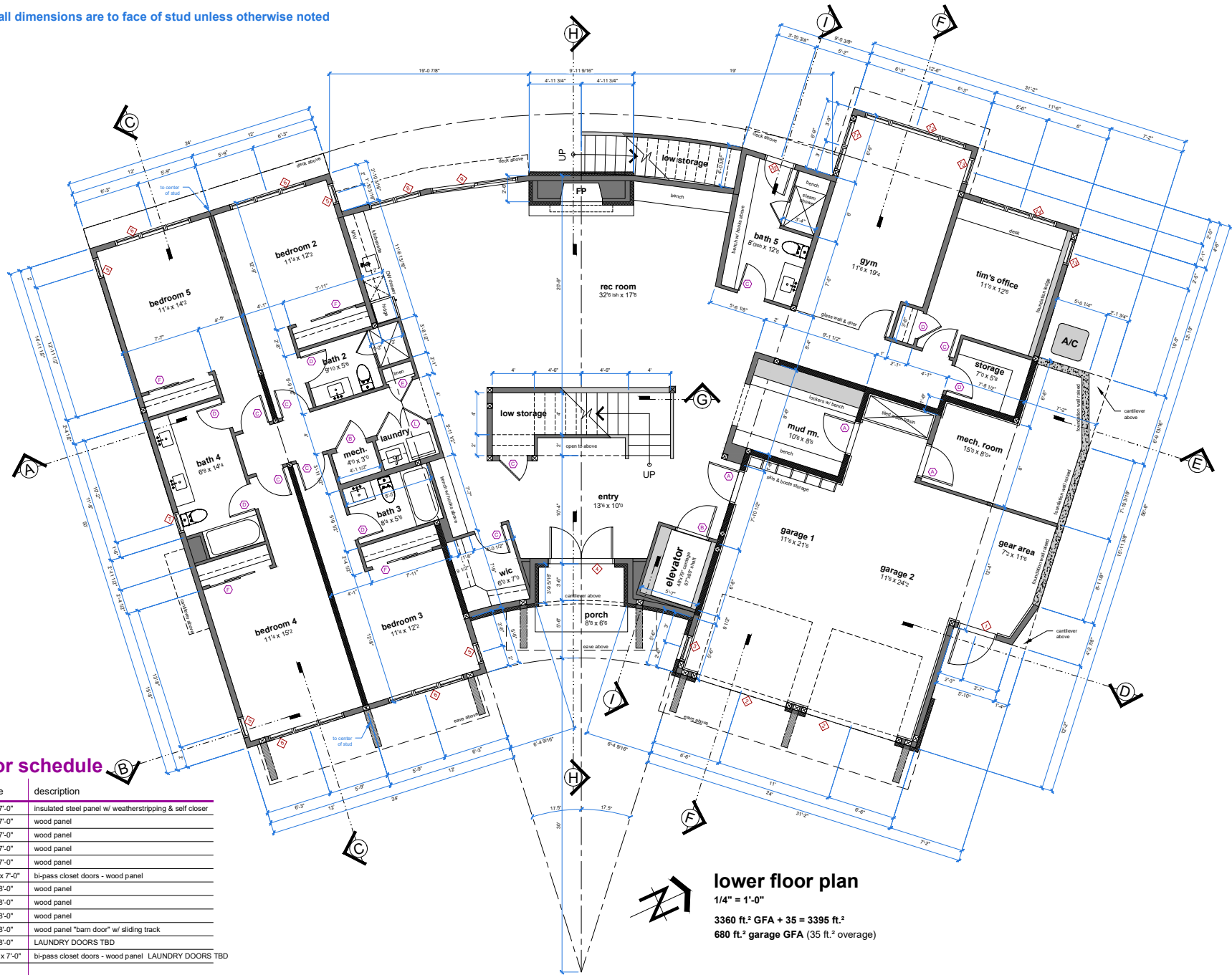
canmore, alberta t1w 2c3

info@russellandrusell.ca

403 678 3003

www.russellandrusell.ca

*NOTE: all interior wall dimensions are to face of stud unless otherwise noted



interior door schedule

quantity	size	description
3	3'-0" x 7'-0"	insulated steel panel w/ weatherstripping & self closer
2	3'-0" x 7'-0"	wood panel
8	2'-8" x 7'-0"	wood panel
6	2'-6" x 7'-0"	wood panel
1	2'-4" x 7'-0"	wood panel
4	(2)- 3'-0" x 7'-0"	bi-pass closet doors - wood panel
6	3'-0" x 8'-0"	wood panel
1	2'-6" x 8'-0"	wood panel
2	2'-0" x 8'-0"	wood panel
1	4'-0" x 8'-0"	wood panel "barn door" w/ sliding track
1	6'-0" x 8'-0"	LAUNDRY DOORS TBD
1	(3)- 3'-0" x 7'-0"	bi-pass closet doors - wood panel LAUNDRY DOORS TBD

lower floor plan

1/4" = 1'-0"

3360 ft.² GFA + 35 = 3395 ft.²

680 ft.² garage GFA (35 ft.² overage)

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT:
BLOCK:
PLAN:
CLIENT:
liz & tim welsh

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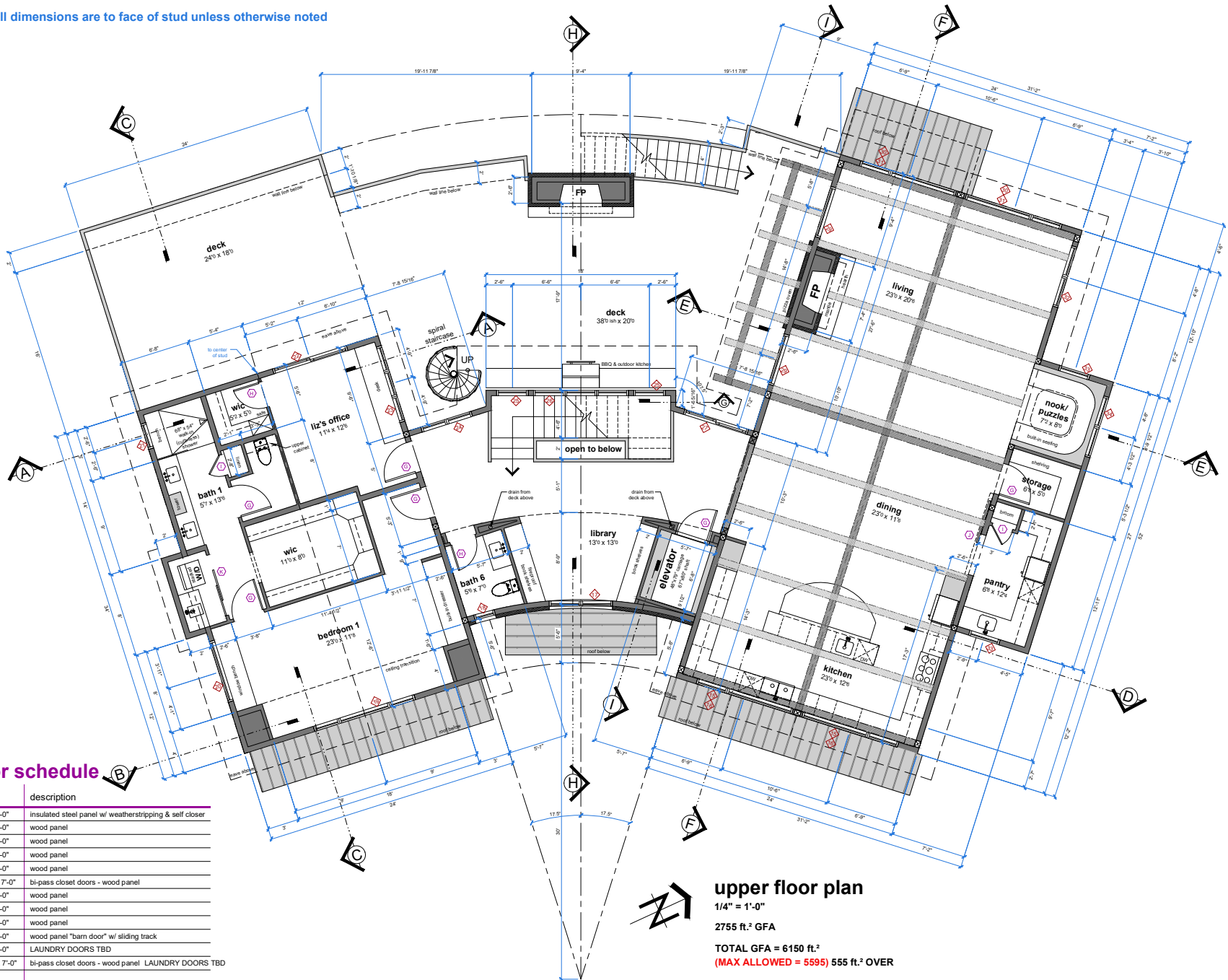
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*NOTE: all interior wall dimensions are to face of stud unless otherwise noted



interior door schedule

quantity	size	description
3	3'-0" x 7'-0"	insulated steel panel w/ weatherstripping & self closer
2	3'-0" x 7'-0"	wood panel
8	2'-8" x 7'-0"	wood panel
6	2'-6" x 7'-0"	wood panel
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4	(2)- 3'-0" x 7'-0"	bi-pass closet doors - wood panel
6	3'-0" x 8'-0"	wood panel
1	2'-6" x 8'-0"	wood panel
2	2'-0" x 8'-0"	wood panel
1	4'-0" x 8'-0"	wood panel "barn door" w/ sliding track
1	6'-0" x 8'-0"	LAUNDRY DOORS TBD
1	(3)- 3'-0" x 7'-0"	bi-pass closet doors - wood panel LAUNDRY DOORS TBD

upper floor plan

1/4" = 1'-0"

2755 ft.² GFA

TOTAL GFA = 6150 ft.²

(MAX ALLOWED = 5595) 555 ft.² OVER

PROJECT:

1326

welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT:

35

BLOCK:

PLAN

961 2010

CLIENT:

liz & tim welsh

ISSUED:

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2025-02-06

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structural review

2025-02-28

C:

issued for review

2025-03-07

D:

L.T.F notes revisions

2025-03-19

E:

deck drainage

revisions

2025-03-20

F:

DP revisions

2025-04-04

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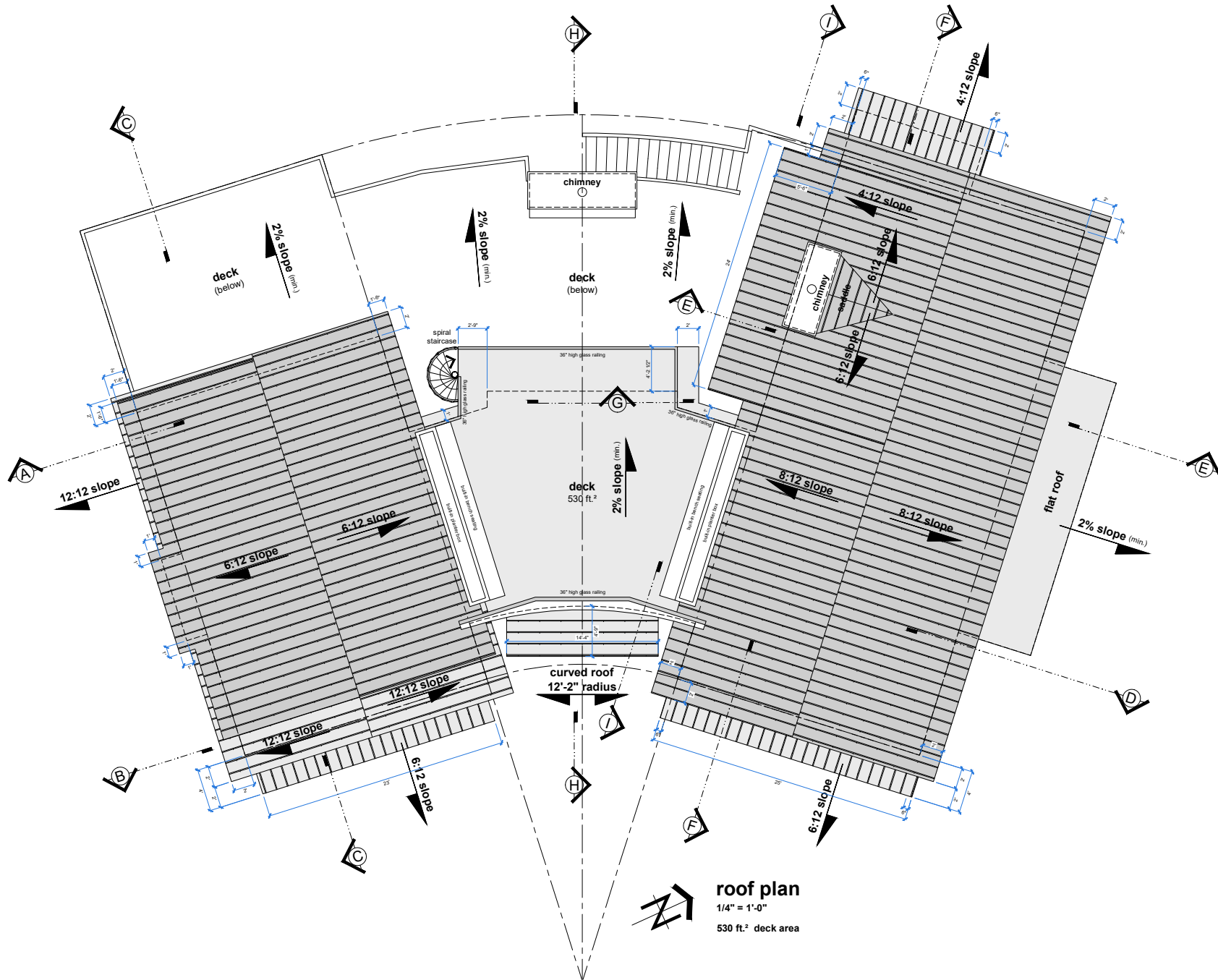
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canmore, alberta t1w 2b3
info@russellandrussell.ca
403 678 3003
www.russellandrussell.ca



roof plan
 1/4" = 1'-0"
 530 ft.² deck area

PROJECT:	
1326	welsh
ADDRESS:	
12 blue grouse ridge, canmore, ab	
LOT:	
BLOCK:	35
PLAN:	961 2010
CLIENT:	
liz & tim welsh	
ISSUED:	
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PROJECT:
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D: L.T.F notes revisions
2025-03-19
E: deck drainage
revisions
2025-03-20
F: DP revisions
2025-04-04

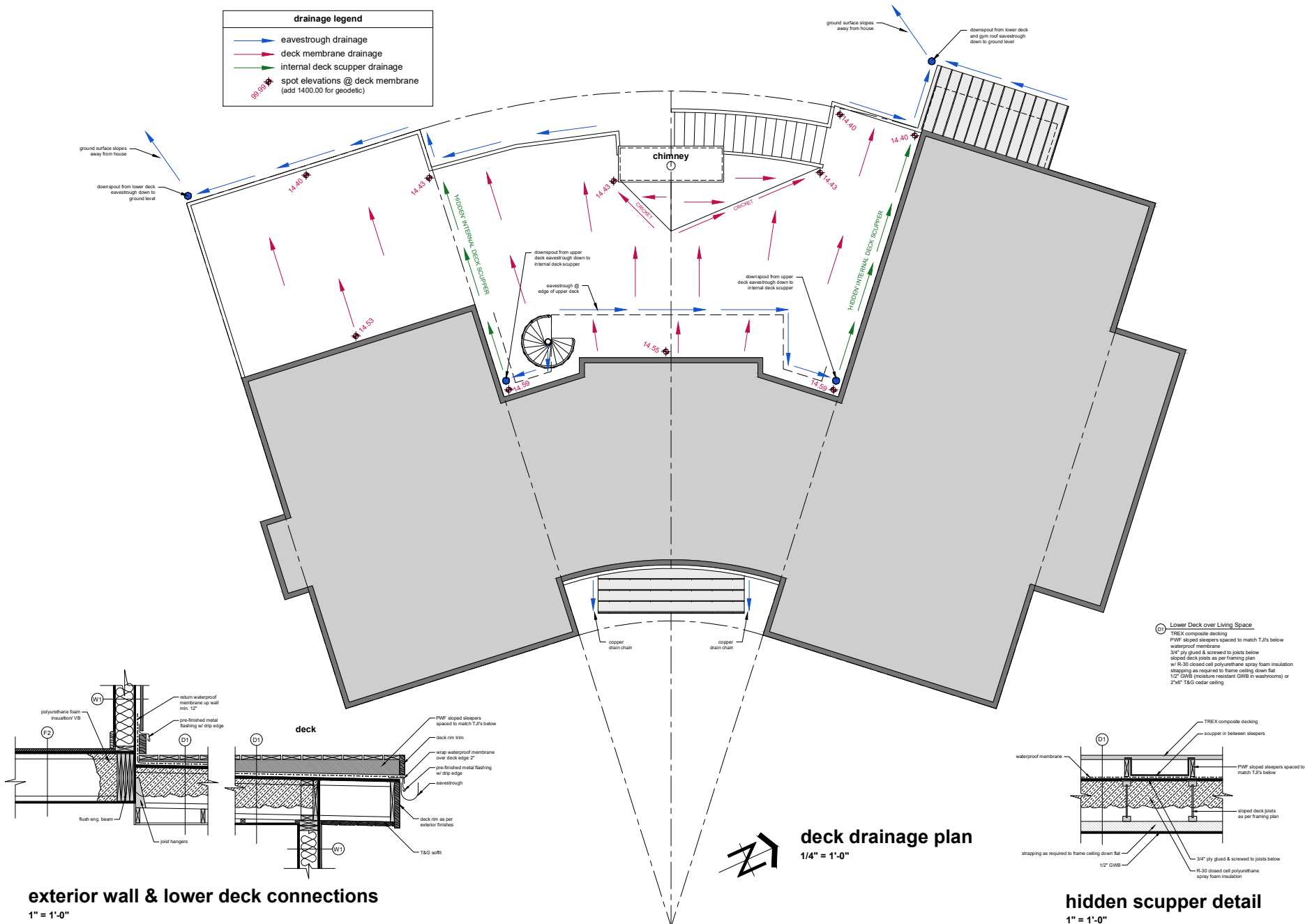
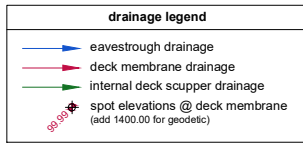
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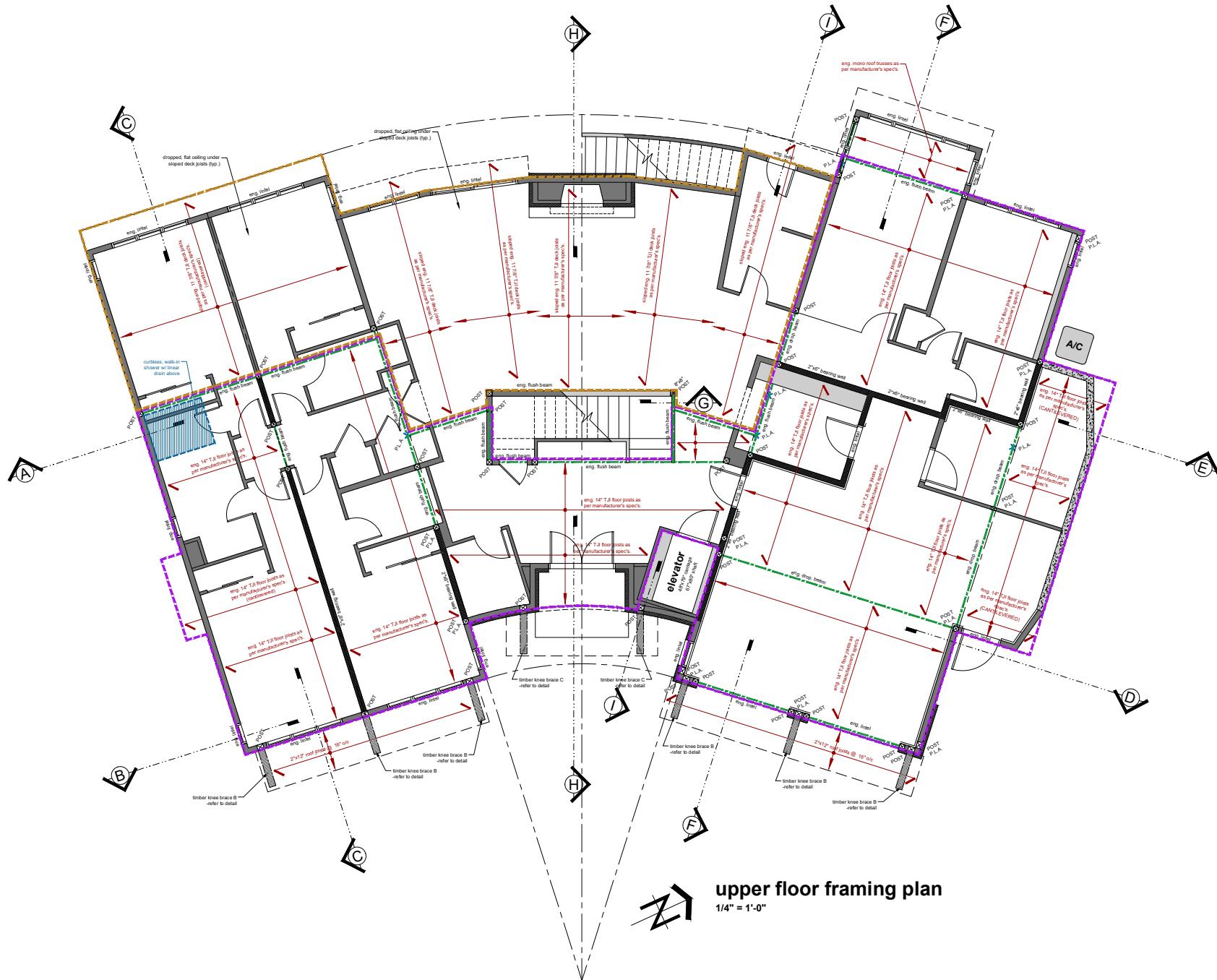
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upper floor framing plan
1/4" = 1'-0"

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT: 35
BLOCK:
PLAN: 961 2010

CLIENT:
liz & tim welsh

ISSUED:
A: issued for D.P.
2025-02-06.
B: issued for framing/
structural review
2025-02-28
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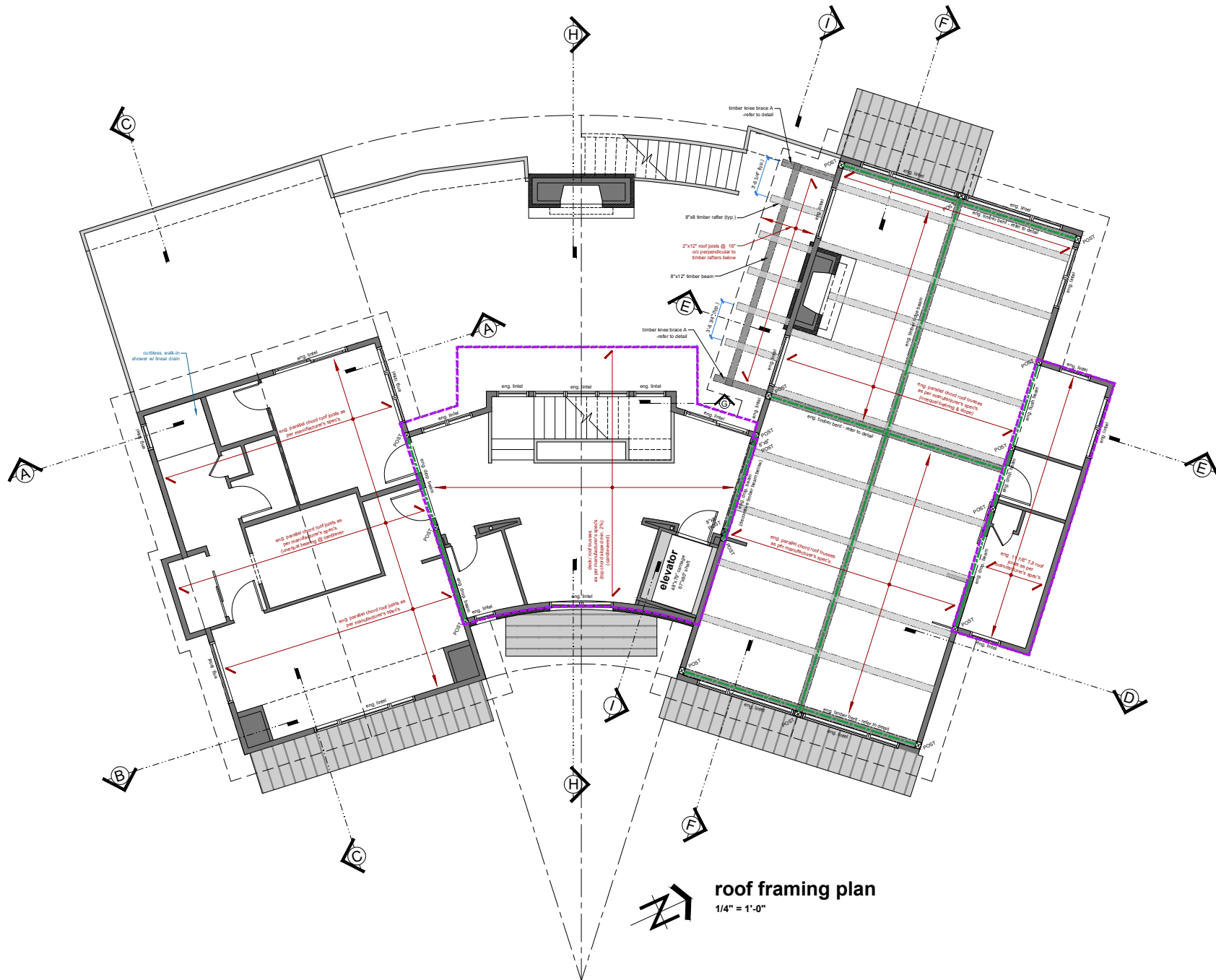
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roof framing plan

1/4" = 1'-0"

PROJECT:

1326
welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT:

35

BLOCK:

PLAN

961 2010

CLIENT:

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2025-03-19

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deck drainage

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2025-03-20

F:

DP revisions

2025-04-04

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PROJECT:

1326
welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT:

BLOCK:

PLAN:

961 2010

CLIENT:

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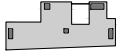
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unprotected openings calculations

total exposed building face:	> 100 m²
limiting distance:	3.16 m
exposed building face:	787 ft²
allowable openings:	7.0% (55.1 ft²)
proposed openings:	5.5% (43.3 ft²)



PROJECT:

1326

welsh

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35

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PLAN

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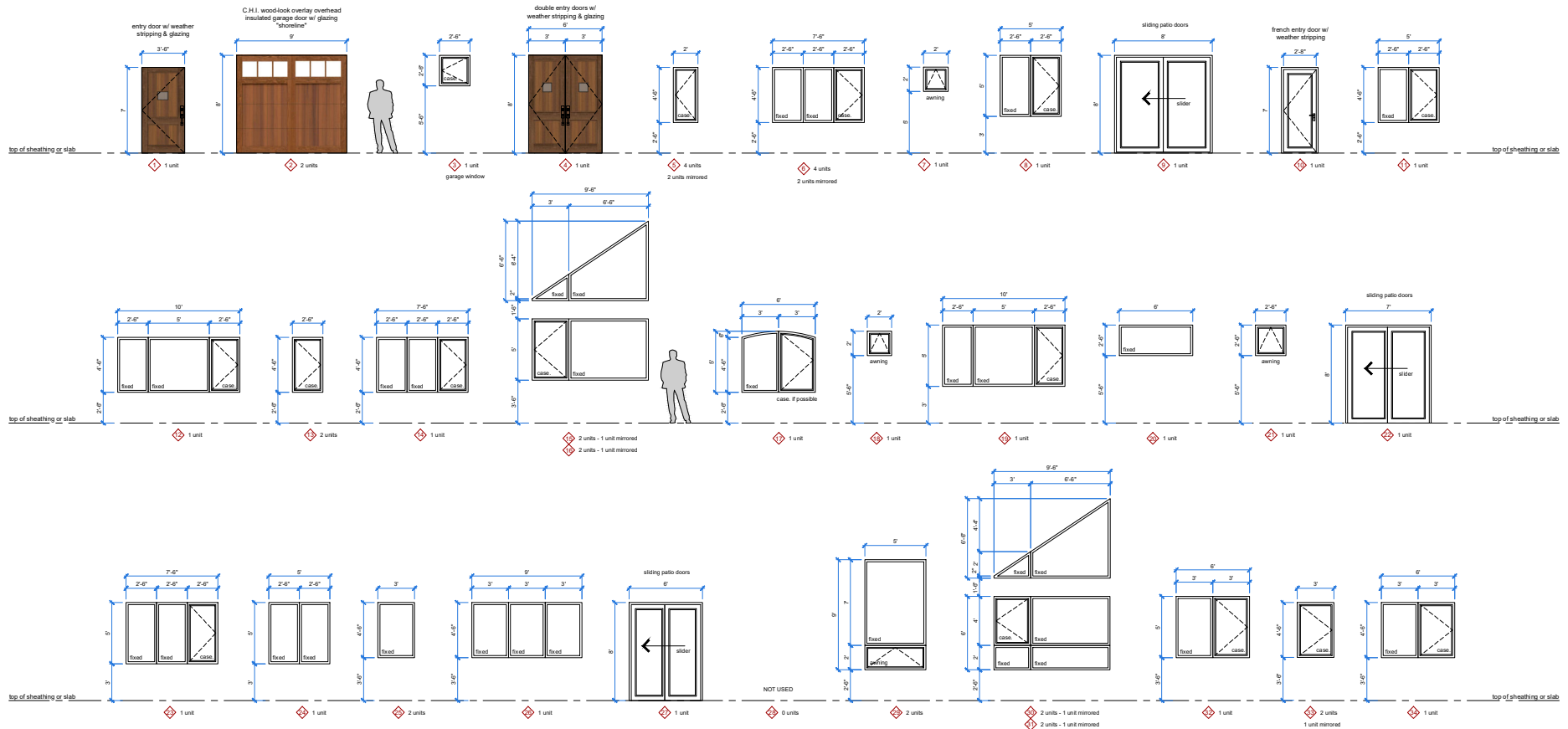
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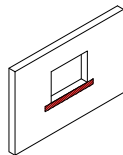
window & exterior door schedule

1/4" = 1'-0"

notes:

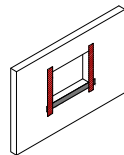
ALUMINUM CLAD WINDOWS w/ nailing fin, trim by others.
all windows to be low E, triple glazed.
see elevations for patterns & openings.
see manufactures specification for rough-opening sizes.

windows to be Energy Star certified windows of a minimum of "Zone C" requirements (29 Wm2 k2) or of an equivalent Energy Rating (ER) level as determined by the CSA Standard A440.2.



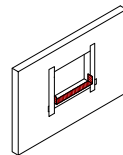
step 1

install 6" sill flashing paper at bottom edge of opening. staple along top edge 3/8" from top of paper.
leave bottom edge unattached for water resistant barrier installation to go underneath flashing paper.



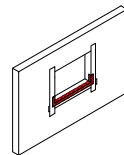
step 2

install 6" wide jamb flashing paper at sides of opening. 12" longer than opening top & bottom, two rows of staples. do not staple below row of staples at sill barrier.
leave 12" of bottom edge unattached for water resistant barrier installation to go underneath flashing paper.
note: flashing paper to be exterior sheathing membrane #16 felt or tyvek building wrap



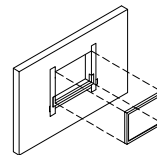
step 3

install peel & stick over jamb and sill flashing paper.
extend vertically 6"



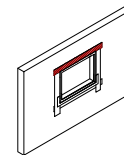
step 4

cut peel & stick membrane, fold over sill and jamb flashing paper as shown



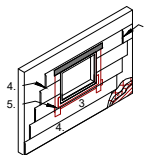
step 5

install "roll on" window as per manufacturers instructions.
ensure level and true



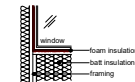
step 6

install head flashing paper over top of window flange.
note: if a window head flashing is required, install it over the window head flashing paper and place the water resistant barrier over the flange of the metal flashing.
flashing paper to be exterior sheathing membrane #16 felt



step 7

1 lap water resistant barrier vertically 6"
2 lap water resistant barrier horizontally 4"
3 this sheet of water resistant barrier to slip under sill and flashing paper. note the water resistant barrier to fit tightly around window frame profile.
4 two layers of water resistant barrier, staggering joints 12"
5 slip lower end of jamb flashing paper and sill flashing paper over water resistant barrier at the window sill



step 8

use polyurethane spray foam insulation between the window and framing, from the interior of building.
allow to expand and dry.
trim excess foam from around frame.
ensure vapour barrier is complete at connection

window installation guide

not to scale

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT: 35
BLOCK:
PLAN: 961 2010

CLIENT:
liz & tim welsh

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2025-03-20

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2025-04-04

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roof systems

- B1 Bedroom One Wing Roof System**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
roof joists as per framing plan/ spec.
w/ R-40 batt insulation
1/2" GWB (moisture resistant GWB in washrooms) or
1/4" T&G cedar ceiling
- B2 Living/ Dining/ Kitchen Roof System**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
16" TJI roof trusses as per manufacturer's specs
w/ R-40 closed cell polyurethane spray foam insulation
2"x6" T&G cedar ceiling or 1/2" GWB
(moisture resistant GWB in washrooms)
- B3 Roof System over Exterior Space**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
roof joists as per manufacturer's specs or
2"x10" roof joists @ 16" o/c
1/4" T&G cedar soffit or
pre-finished metal soffit (non-venting)

wall systems

- W1 Typical Exterior Wall**
refer to elevations for finish
TYVEK building wrap (or similar)
3/8" O.S.B. sheathing
2"x4" studs @ 16" o/c (all walls over 12' high to be spaced
@ 12" o/c continuous w/ blocking @ 48" o/c)
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
1/2" GWB (type X GWB in garage)
- W2 Typical Foundation/ Frost Wall**
8" concrete wall - 20 MPA m/w 2-10M cont. slab w/
dimpled bottom before pouring above grade
min. 4" frost protection w/ 2" rigid insulation
- W3 Garage/ House Interior Wall**
1/2" GWB
2"x4" stud wall @ 16" o/c
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
5/8" type X CD or type C GWB (garage side)
- W4 Typical Interior Wall**
1/2" GWB
2"x4" or 2"x6" stud wall @ 16" o/c
1/2" GWB (moisture resistant GWB in washrooms)

floor systems

- F1 Typical Slab Floor**
2" concrete slab - 25 MPA m/w 10M @ 18" o/c e/w mid slab
w/ in-slab heating system
6 mil poly. vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun
- F2 Typical Floor System**
finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per framing plan/ spec.
w/ R-30 polyurethane spray foam insulation at joist ends
& acoustic batt insulation at all bedrooms and washrooms
1/2" GWB (moisture resistant GWB in washrooms)

floor system over garage

- F3 Floor System over Garage**
finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per framing plan/ spec.
w/ polyurethane spray foam (closed cell)
1/2" GWB, type X CD or type C GWB

typical cantilevered floor system

- F4 Typical Cantilevered Floor System**
finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per framing plan/ spec.
w/ R-30 closed cell polyurethane spray foam insulation
pre-finished metal soffit (non-venting)

typical garage slab

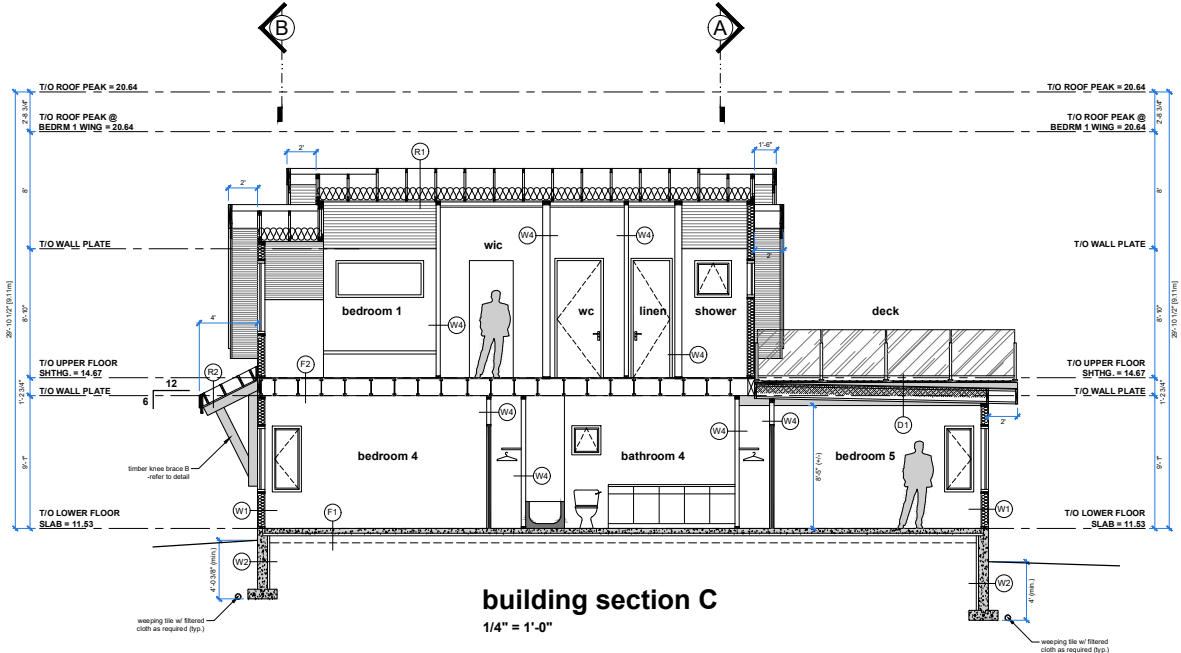
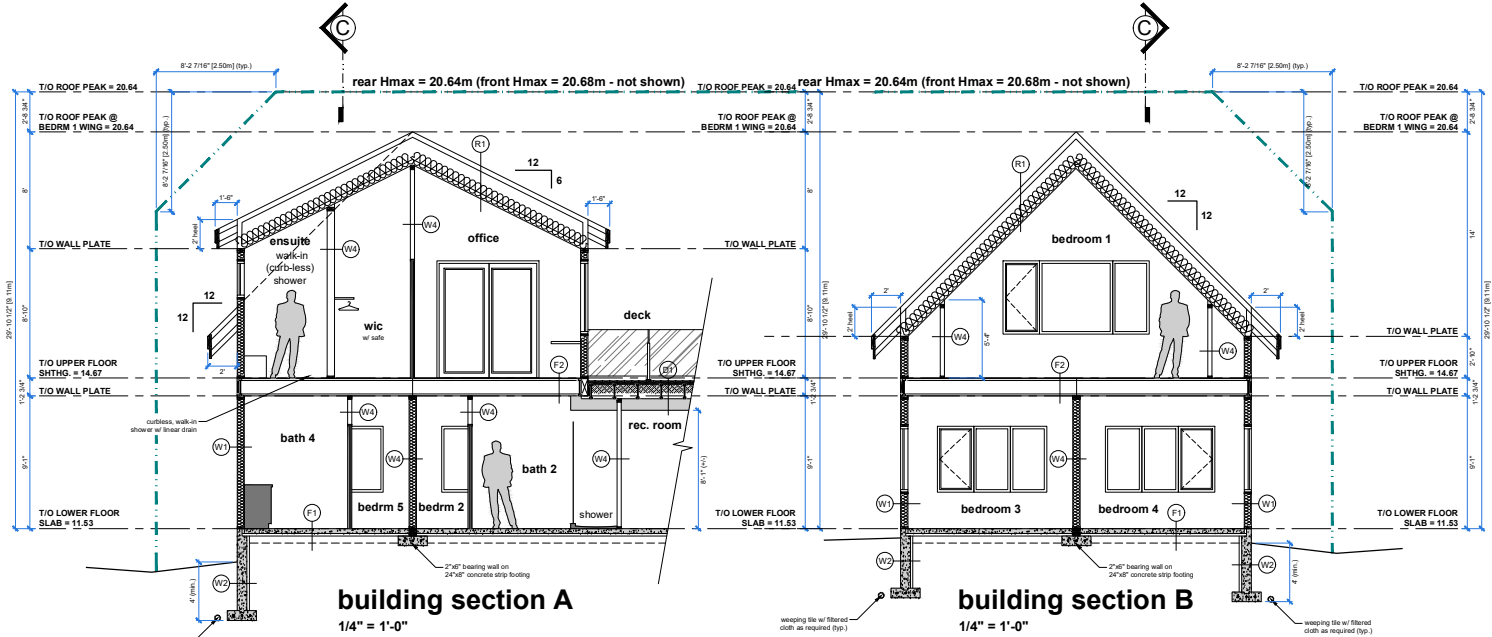
- F5 Typical Garage Slab**
4" concrete slab - 32 MPA m/w 18" @ 18" o/c e/w mid slab
w/ in-slab heating system (to be confirmed by owner)
6 mil poly. vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun

decks

- D1 Lower Deck over Living Space**
TREX composite decking
PWF sloped stringers spaced to match TJI's below
waterproof membrane
3/4" ply glued & screwed to joists below
sloped deck joists as per framing plan
w/ R-30 closed cell polyurethane spray foam insulation
shipping as required to frame falling down fall
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling

roof top deck over living space

- D2 Roof Top Deck over Living Space**
DuraDeck waterproof membrane (or similar)
deck trusses as per framing plan (top chord sloped min. 2%)
w/ R-30 closed cell polyurethane spray foam insulation
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling



PROJECT:
1326
welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT:

BLOCK:

PLAN:

CLIENT:

liz & tim welsh

ISSUED:

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2025-03-20

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roof systems

- R1 Bedroom One Wing Roof System**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ 14-clips
roof joists as per manufacturer's spec.s or
w/ R-40 batt insulation
1/2" GWB (moisture resistant GWB in washrooms) or
7x46" T&G cedar ceiling
- R2 Living/ Dining/ Kitchen Roof System**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ 14-clips
16" TJI roof trusses as per manufacturer's spec.s
w/ R-40 closed cell polyurethane spray foam insulation
2"x6" T&G cedar ceiling or 1/2" GWB
(moisture resistant GWB in washrooms)
- R3 Roof System over Exterior Space**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ 14-clips
16" TJI roof trusses as per manufacturer's spec.s or
2"x10" roof joists @ 16" o/c
1/4" T&G cedar soffit or
pre-finished metal soffit (non-venting)

wall systems

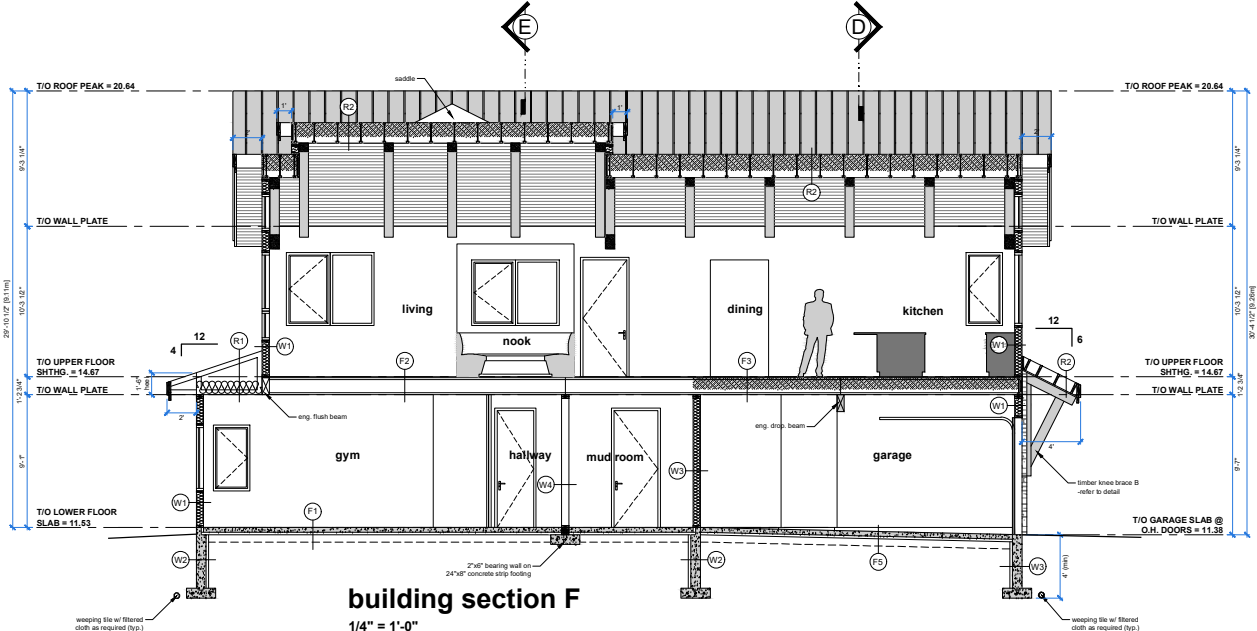
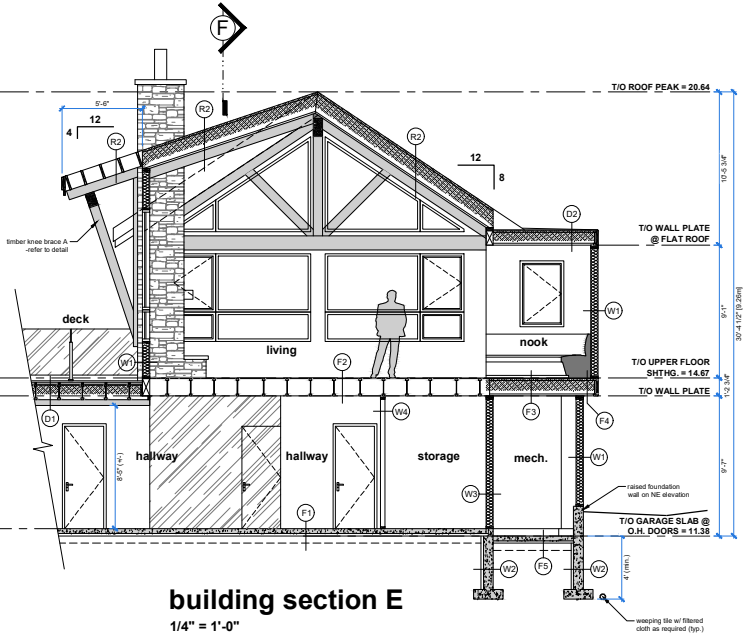
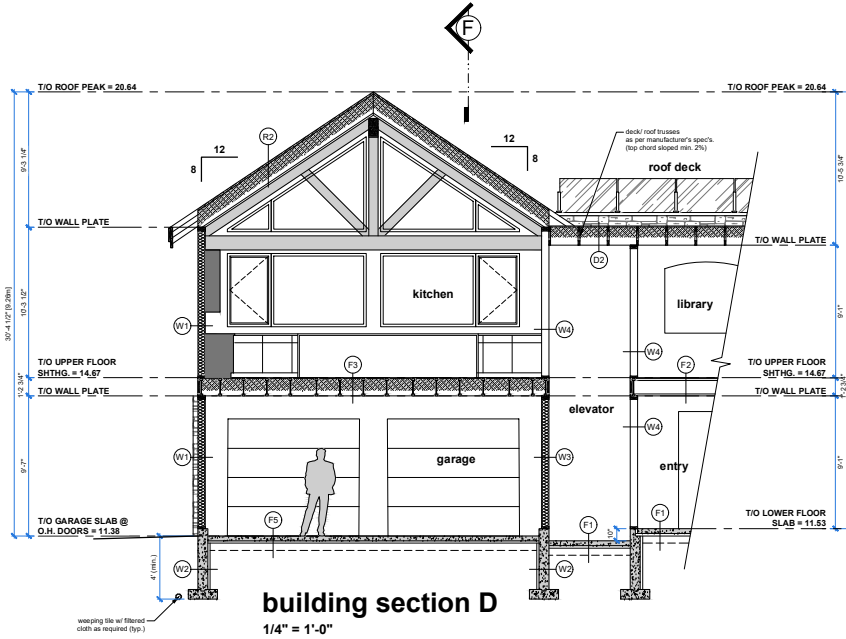
- W1 Typical Exterior Wall**
refer to elevations for finishes
TYVEK building wrap (or similar)
3/8" O.S.B sheathing
2"x6" studs @ 16" o/c (all walls over 12' high to be spaced
@ 12" o/c continuous w/ blocking @ 48" o/c)
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
1/2" GWB type X GWB in garage
- W2 Typical Foundation/ Frost Wall**
8" concrete wall - 20 MPa r/w 2-10M cont. slab w/
dimpled bottom grade parging above grade
min. 4" frost protection w/ 2" rigid insulation
- W3 Garage/ House Interior Wall**
1/2" GWB
2"x6" stud wall @ 16" o/c
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
5/8" type X CD or type C GWB (garage side)
- W4 Typical Interior Wall**
1/2" GWB
2"x4" or 2"x6" stud wall @ 16" o/c
1/2" GWB (moisture resistant GWB in washrooms)

floor systems

- F1 Typical Slab Floor**
4" concrete slab - 25 MPa r/w 10M @ 18" o/c w/ mid slab
w/ in-slab heating system
6 mil poly vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun
- F2 Typical Floor System**
finished flooring
3/4" ply glued & screwed to floor joists
TJI joists as per framing plan/ eng. spec.
w/ R-30 polyurethane spray foam insulation at joist ends
& acoustic batt insulation at all bedrooms and washrooms
1/2" GWB (moisture resistant GWB in washrooms)
- F3 Floor System over Garage**
finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per eng. spec.
w/ polyurethane spray foam (closed cell)
1/2" GWB, type X CD or type C GWB
- F4 Typical Cantilevered Floor System**
finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per eng. spec.
w/ R-30 closed cell polyurethane spray foam insulation
pre-finished metal soffit (non-venting)
- F5 Typical Garage Slab**
4" concrete slab - 32 MPa r/w 10M @ 18" o/c w/ mid slab
w/ in-slab heating system (to be confirmed by owner)
6 mil poly vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun

decks

- D1 Lower Deck over Living Space**
TREX composite decking
PWF sloped stringers spaced to match TJI's below
waterproof membrane
3/4" ply glued & screwed to joists below
sloped deck joists as per framing plan
w/ R-30 closed cell polyurethane spray foam insulation
shipping as required to frame ceiling below
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling
- D2 Roof Top Deck over Living Space**
DuraDeck waterproof membrane (or similar)
3/4" ply glued & screwed to joists below
deck trusses as per framing plan (top chord sloped min. 2%)
w/ R-30 closed cell polyurethane spray foam insulation
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling



PROJECT:
1326
welsh

ADDRESS:

12 blue grouse ridge,
canmore, ab

LOT: 35

BLOCK: 1

PLAN: 961 2010

CLIENT:

liz & tim welsh

ISSUED:

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roof systems

- R1 Bedroom One Wing Roof System**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
roof joists as per manufacturer's spec.s
w/ R-40 batt insulation
1/2" GWB (moisture resistant GWB in washrooms) or
7/8" T&G cedar ceiling
- R2 Living/ Dining/ Kitchen Roof System**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
16" T&I roof trusses as per manufacturer's spec.s
w/ R-40 closed cell polyurethane spray foam insulation
2"x6" T&G cedar ceiling or 1/2" GWB
(moisture resistant GWB in washrooms)
- R3 Roof System over Exterior Space**
refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
roof joists as per manufacturer's spec.s
2"x10" roof joists @ 16" o/c
1"x6" T&G cedar soffit or
pre-finished metal soffit (non-venting)

wall systems

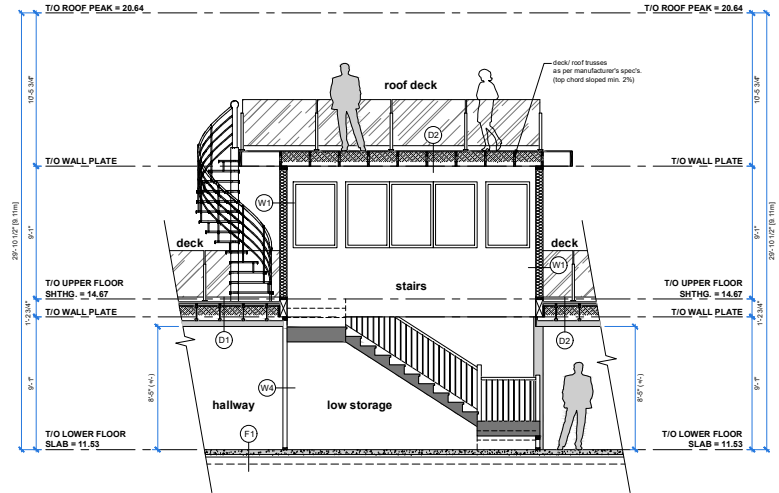
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3/8" O.S.B sheathing
2"x6" studs @ 16" o/c (all walls over 12' high to be spaced
@ 12" o/c continuous w/ blocking @ 48" o/c)
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
5/8" type X CD or type C GWB (garage side)
- W2 Typical Foundation/ Frost Wall**
8" concrete wall - 20 MPA n/w 2-10M cont. slab w/
dimpled bottom grade piling above grade
min. 4" frost protection w/ 2" rigid insulation
- W3 Garage/ House Interior Wall**
1/2" GWB
2"x6" stud wall @ 16" o/c
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
5/8" type X CD or type C GWB (garage side)
- W4 Typical Interior Wall**
1/2" GWB
2"x4" or 2"x6" stud wall @ 16" o/c
1/2" GWB (moisture resistant GWB in washrooms)

floor systems

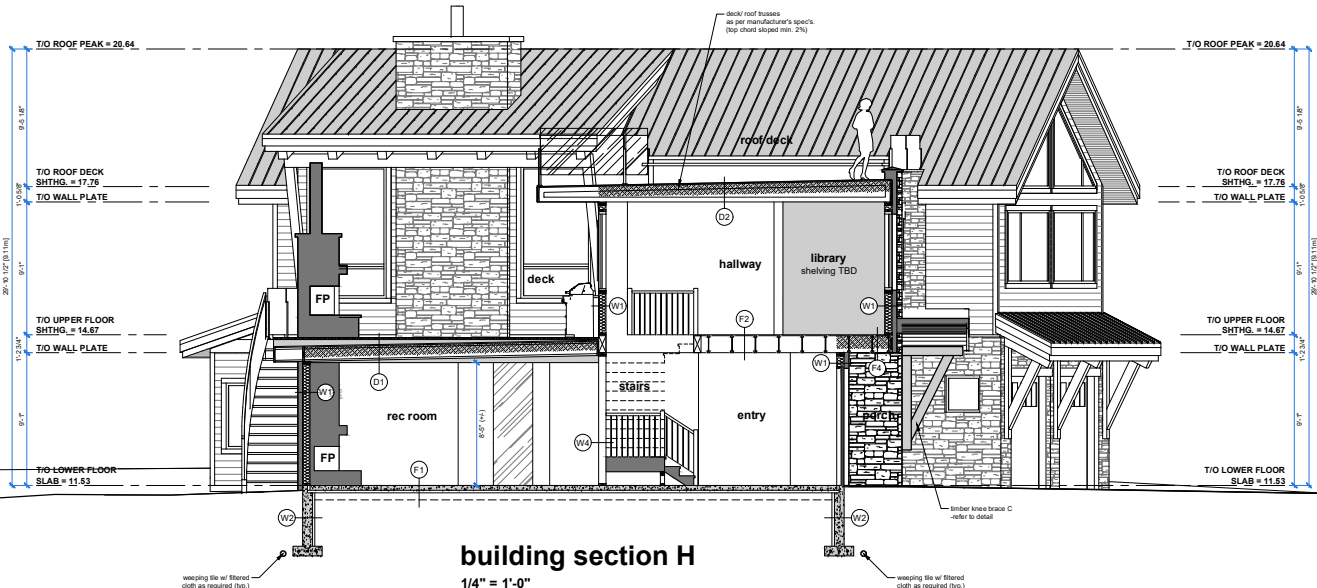
- F1 Typical Slab Floor**
4" concrete slab - 25 MPA n/w 10M @ 18" o/c e/w mid slab
w/ in-slab heating system
6 mil poly. vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun
- F2 Typical Floor System**
finished flooring
3/4" ply glued & screwed to floor joists
T&I joists as per framing plan/ eng. spec.
w/ R-30 polyurethane spray foam insulation at joist ends
& acoustic batt insulation at all bedrooms and washrooms
1/2" GWB (moisture resistant GWB in washrooms)
- F3 Floor System over Garage**
finished flooring
3/4" ply glued & screwed to floor joists
1/4" T&I joists as per eng. spec.
w/ polyurethane spray foam (closed cell)
1/2" GWB, type X CD or type C GWB
- F4 Typical Cantilevered Floor System**
finished flooring
3/4" ply glued & screwed to floor joists
1/4" T&I joists as per eng. spec.
w/ R-30 closed cell polyurethane spray foam insulation
pre-finished metal soffit (non-venting)
- F5 Typical Garage Slab**
4" concrete slab - 32 MPA n/w 10M @ 18" o/c e/w mid slab
w/ in-slab heating system (to be confirmed by owner)
6 mil poly. vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun

decks

- D1 Lower Deck over Living Space**
TREX composite decking
PWF sloped stringers spaced to match T&I's below
waterproof membrane
3/4" ply glued & screwed to joists below
sloped deck joists as per framing plan
w/ R-30 closed cell polyurethane spray foam insulation
sheathing as required for main ceiling below floor
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling
- D2 Roof Top Deck over Living Space**
DuraDeck waterproof membrane (or similar)
3/4" ply glued & screwed to joists below
deck trusses as per framing plan (top chord sloped min. 2%)
w/ R-30 closed cell polyurethane spray foam insulation
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling



building section G
1/4" = 1'-0"



building section H
1/4" = 1'-0"

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT: 35
BLOCK:
PLAN: 961 2010
CLIENT:
liz & tim welsh

ISSUED:
A: issued for D.P.
2025-02-06.
B: issued for framing/
structural review
2025-02-28
C: issued for review
2025-03-07
D: L.T.F notes revisions
2025-03-19
E: deck drainage
revisions
2025-03-20
F: DP revisions
2025-04-04

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A5.3

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construction data

Bedroom One Wing Roof System

refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
roof joists or trusses as per eng. spec.
w/ R-40 batt insulation
1/2" GWB (moisture resistant GWB in washrooms) or
1"x6" T&G cedar ceiling

 Living/ Dining/ Kitchen Roof System

refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
16" TJI roof trusses as per manufacturer's spec.s
w/ R-40 closed cell polyurethane spray foam insulation
2"x6" T&G cedar ceiling or 1/2" GWB
(moisture resistant GWB in washrooms)

 Roof System over Exterior Space

refer to elevations for roof finish
min. 36" wide ice & water shield eave protection
roofing paper
7/16" OSB sheathing w/ H-clips
roof joists as per manufacturer's spec.s or
2"x10" roof joists @ 16" o/c
1"x6" T&G cedar soffit or
pre-finished metal soffit (non-venting)

wall systems

 Typical Exterior Wall

refer to elevations for finishes
TYVEK building wrap (or similar)
3/8" O.S.B sheathing
2"x6" studs @ 16" o/c (all walls over 12' high to be spaced
@ 12" o/c continuous w/ blocking @ 48" o/c)
w/ R-24 batt insulation
6 mil poly vapour barrier (lapped & taped)
1/2" GWB (type X GWB in garage)

 Typical Foundation/ Frost Wall

8" concrete wall - 20 MPA r/w 2-10M cont. 18b w/ dampproofing below grade/ parging above grade min. 4' frost protection w/ 2" rigid insulation

Garage/ House Interior Wall

W3 Typical Exterior Wall

- 1/2" GWB
- 2"x6" stud wall @ 16" o/c
- W R-24 batt insulation
- 6 mil poly vapour barrier (lapped & taped)
- 5/8" type X CD or type C GWB (garage side)

W4 Typical Interior Wall

- 1/2" GWB
- 2"x4" or 2"x6" stud wall @ 16" o/c
- 1/2" GWB (moisture resistant GWB in washrooms)

floor systems

Typical Slab Floor

4" concrete slab - 25 MPa r/w 10M @ 18" o/c e/w mid slab
w/ in-slab heating system
6 mil poly. vapour barrier
2" R-12 spray foam insulation
6" (minimum) compacted gravel
undisturbed soil or 98% SPD pitrun

 Typical Floor System

F2 finished flooring
3/4" ply glued & screwed to floor joists
TJI joists as per framing plan/ eng. spec.
w/ R-30 polyurethane spray foam insulation at joist ends
& acoustic batt insulation at all bedrooms and washrooms
1/2" GWB (moisture resistant GWB in washrooms)

 Floor System over Garage

F3 finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per eng. spec.
w/ polyurethane spray foam (closed cell)
1/2" GWSB, type X CD or type C GWSB

Typical Cantilevered Floor System

F4 Typical Cantilevered Floor System

finished flooring
3/4" ply glued & screwed to floor joists
14" TJI joists as per eng. spec.
w/ R-30 closed cell polyurethane spray foam insulation
See finished detail on p. 66 for more conditions

Typical Garage Slab

F5 Typical Garage Slab
 4" concrete slab - 32 MPa r/w 10M @ 18" o/c e/w mid slab
 w/ in-slab heating system (to be confirmed by owner)
 6 mil poly. vapour barrier
 2" R-12 spray foam insulation
 6" (minimum) compacted gravel
 undisturbed soil or 98% SPD pitrun

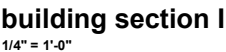
decks

Lower Deck over Living Space

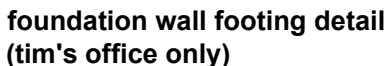
TREX composite decking
PWF sloped sleepers spaced to match T.J.'s below
waterproof membrane
3/4" ply glued & screwed to joists below
sloped deck joists as per framing plan
w/ R-30 closed cell polyurethane spray foam insulation
strapping as required to frame ceiling down flat
1/2" GWB (moisture resistant GWB in washrooms) or
2"x6" T&G cedar ceiling

 Roof Top Deck over Living Space

DuraDek waterproof membrane (or similar)
3/4" ply glued & screwed to joists below
deck trusses as per framing plan (top chord sloped min. 2%)
w/ R-30 closed cell polyurethane spray foam insulation
1/2" GWB (moisture resistant GWB in washrooms)
or 2"x6" T&G cedar ceiling



1" = 1'-0"


























1" = 1'-0"



 **lower floor electrical plan**
1/4" = 1'-0"

electrical legend

*note: owner/ contractor to confirm all lighting and electrical prior to installation

-  light switch (# poles)
-  ceiling light
-  wall light
-  pot light
-  door activated pot light
-  extract fan
-  DUPLEX outlet
-  floor outlet
-  cooker or hot tub 220V outlet
-  waterproof outlet
-  ground fault interrupter outlet
-  soffit outlet (christmas lights)
-  gas supply
-  phone jack & CAT5
-  cable TV
-  smoke & CO detector (hard wired & connected)
-  electrical distribution board
-  floor drain
-  hose bib
-  track lighting
-  ceiling fan
-  garage door opener
-  house address numbers/ sign

- *note: all exterior pot lights to be: LUXRITE 56 in. Recessed LED Can Lights, 14 Watt, 5 Color Selectable, Dimmable, 1100 Lumens, Wet Rated, 7.32" Ø Black Trim (17 UNITS)
- *note: all exterior wall lights to be: Visual Comfort Studio Collection - 8313901 - Bullets-One Light Outdoor Wall Lantern in Transitional Style-8 Inch wide by 9 Inch high - BLACK (2 UNITS)
- *note: house address numbers/ sign specifications:
10" tall numbers in 'Century Gothic' font, Black finish with LED backlighting
(Standard 4000K Warm White LED for a soft elegant glow)
source: housenumberscanada.ca/collections/frontpage/products/illuminated-house-numbers-new

PROJECT:
1326
welsh

ADDRESS:
12 blue grouse ridge,
canmore, ab

LOT:
BLOCK:
PLAN:
961 2010

CLIENT:
liz & tim welsh

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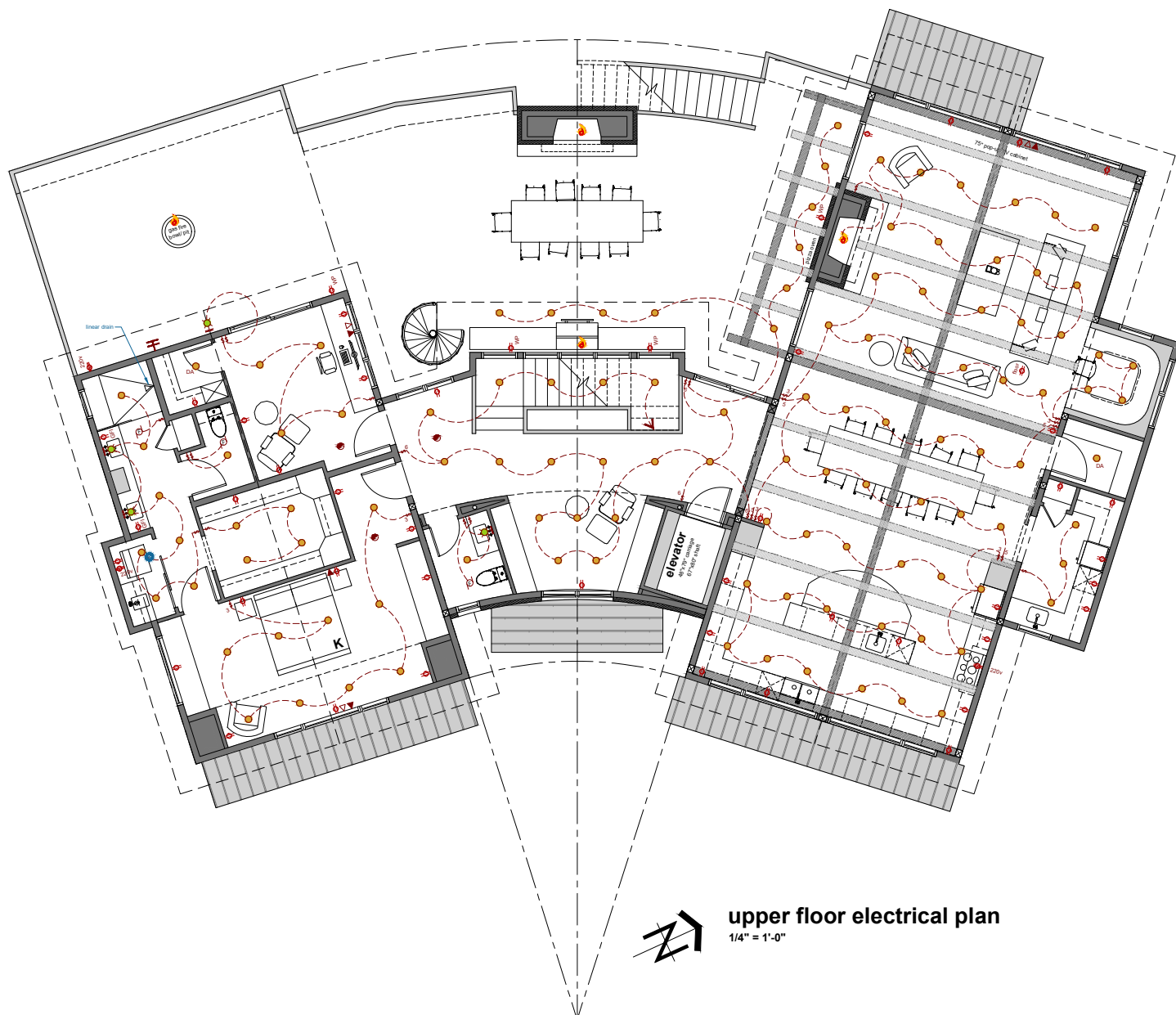
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electrical legend

*note: owner/ contractor to confirm all lighting and electrical prior to installation

- light switch (# poles)
- ceiling light
- wall light
- pot light
- door activated pot light
- extract fan
- DUPLEX outlet
- floor outlet
- cooker or hot tub 220V outlet
- waterproof outlet
- ground fault interceptor outlet
- soffit outlet (christmas lights)
- gas supply
- phone jack & CAT5
- cable TV
- smoke & CO detector (hard wired & connected)
- electrical distribution board
- floor drain
- hose bib
- track lighting
- ceiling fan
- garage door opener
- house address numbers/ sign

*note: all exterior pot lights to be: LUXRITE 5/8 in. Recessed LED Can Lights, 14 Watt, 5 Color Selectable, Dimmable, 1100 Lumens, Wet Rated, 7.32" Ø Black Trim (17 UNITS)

*note: all exterior wall lights to be: Visual Comfort Studio Collection - 8313901 - Bullets-One Light Outdoor Wall Lantern in Transitional Style-8 Inch wide by 9 Inch high - BLACK (2 UNITS)

*note: house address numbers/ sign specifications:
10" tall numbers in 'Century Gothic' font, Black finish with LED backlighting
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revisions
2025-03-20
F: DP revisions
2025-04-04

DRAWN: CC
DESIGNED: AR/CC
CHECKED: AR

DRAWING NUMBER:
E1.2

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Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1
www.canmore.ca

SCHEDULE A

CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20250086

LAND USE DISTRICT: R1 Residential Detached District

APPROVED USE(S): Detached Dwelling

APPROVED VARIANCE(S): Increase in Gross Floor Area

MUNICIPAL ADDRESS: 12 Blue Grouse Ridge

LEGAL ADDRESS: Lot 35 Block Plan 9612010

APPROVED VARIANCES

1. To section 3.1.3.11 of the LUB, to allow for an increase in the total gross floor area by 51.6sqm (9% variance).

STANDARD CONDITIONS

1. Prior to the release of the Development Permit, the applicant shall enter into a Development Agreement with the Town of Canmore to do the following:
 - a. Pay the off-site levies and fees imposed by the Off-Site Levy 2020 Bylaw (Bylaw 2020-27), and Master Fee Schedule as amended or replaced from time to time. In this case \$1821.00 for transportation and fire levies (water, sanitary sewer, and storm sewer having been previously paid at the time of subdivision) and \$880 for a standard cash-in-lieu of waste container fee for new dwelling units; and
 - b. Ensure compliance with the applicant's commitments for Enhanced Green Building requirements outlined in specific condition 1.
2. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
3. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
4. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw (Bylaw 2019-10), as amended or replaced from time to time, and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore's Public Works Department.

5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
6. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.
7. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.

SPECIFIC CONDITIONS

1. The development shall achieve a 20% Lower than Reference House EnerGuide Rating for this development, following the procedures outlined in section 10 of the Land Use Bylaw for Enhanced Green Building.

ADVISORY COMMENTS

1. It is the applicant's responsibility to ensure that Building Permit applications and construction are entirely consistent with the approved Development Permit plans. The Town does not review Building Permit applications for consistency with the Development Permit. In the event of any conflict between the Development Permit and the Building Permit approvals, the Development Permit shall take precedence.
2. It is the applicant's responsibility to apply for any other applicable licenses and permits, including required building permits.
3. The Town of Canmore is the Caveator for registered interest number 941 181 163. The Owner is responsible to follow the provisions of this agreement including but not limited to not disturbing any vegetation or erect any fence within the 15M Non Disturbance area as described in the registered interest.

Signature
Subdivision & Development Appeal Board (SDAB)

Date

IS A NOTICE POSTING REQUIRED:

☐ **YES**

☐ **NO**

Elaine Myron

Silvertip, Canmore, AB

May 14, 2025

**RE: Appeal of Development Permit Application – 12 Blue Grouse Ridge Canmore
PL20250086**

To Whom It May Concern,

I am writing to formally appeal the development application for the property located at 12 Blue Grouse Ridge in the Silvertip community. As the owner of the adjacent property at [REDACTED] [REDACTED] I have serious concerns about the proposal to construct a home exceeding 6,000 square feet in gross floor area (GFA), which is well beyond what is permitted in Silvertip under both the community's architectural guidelines and the Town of Canmore's planning framework.

The proposed home appears to significantly exceed the allowable GFA for the area, which is in place to preserve the natural landscape, character, and harmony of the Silvertip neighbourhood. Approval of such a large structure would not only contradict these guidelines but would also adversely affect neighbouring properties, including mine, by introducing excessive massing, shadowing, reduced privacy, and altered views.

My concerns are based on the following grounds:

- 1. Non-Compliance with GFA Limits:** The Silvertip guidelines and Canmore's Land Use Bylaw place clear limitations on home size to maintain a balance between development and natural mountain aesthetics. This proposed development surpasses these limits and does not align with the established expectations for home size and scale. The silvertip guidelines for Blue Grouse Ridge Clause 4.3 states the building envelope of each lot must be within which all improvements and construction of any kind MUST OCCUR. Clause 4.3 goes on to say that the homes building envelope has been identified for the owners lot based on the natural features of the Lot, its views, and relationship to the adjacent building envelopes, topography, the maximum building sizes are established setbacks, height restrictions and good design and fit for the lot. Clause 4.4 of the Silvertip residential guidelines states that the Construction Limit is the actual building zone. It is the area within which your house must be built. It defines the maximum exterior foundation wall perimeter of your house. Clause 4.10 states that each home should be designed to minimize overview and overshadowing of your neighbors. I

have attached the silver tip residential guidelines for the Blue Grouse Ridge area for your further review.

2. **Negative Impact on Adjacent Property:** The rationale letter provided by the homeowners of 12 Blue Grouse Ridge to the city of Canmore state that this proposed additional GFA does not overshadow any neighbors, we respectfully disagree. The proposed massing and footprint of the building will significantly diminish the quality of life for nearby homeowners. Specifically, it will obstruct existing views, impact natural light, cause overshadowing and reduce privacy for the bedrooms, bathrooms and patios of my one-story residence next door at 11 Blue Grouse Ridge.
3. **Degradation of Community Character:** Approving a structure of this size could set a precedent for other oversized developments, which threatens the cohesive and environmentally sensitive vision of the Silvertip neighbourhood. Such a shift could have long-term implications for property values, environmental sustainability, and community trust in planning processes.

For the reasons outlined above, I respectfully request that the Development Appeal Board **deny the current application** or require the applicant to **revise the plans** to ensure full compliance with applicable GFA limitations and design expectations.

Thank you for your time and consideration.

Sincerely,

Elaine Myron

Appeal Hearing for PL20250086

Proposed Detached Dwelling at 12 Blue Grouse Ridge

Appeal of 9% Variance to GFA

NEW Maximum GFA = 0.35 FAR or 519.8m²

Additional GFA Requested = 9% or 51.6m²

Context

This appeal is required because the maximum GFA has “recently” been restricted across town. IN BLUE GROUSE RIDGE ONLY TWO OR THREE UNDEVELOPED LOTS HAVE BEEN SUBJECT TO THIS RESTRICTION.

The appellant purchased and agreed to the SilverTip Resort guidelines and Town bylaws with no restrictions to maximum GFA.

Any appeal based on increased GFA cannot be made under the premise that it is not the intent of the developer or that the appellant was unaware of the potential size of adjacent homes.

Notice of Appeal – 12 Blue Grouse Ridge - Elaine Myron

Reasons given to deny 9% variance

1) Not Sensitive to neighbours, land slope & tree growth

Neighbours - The proposed Detached Dwelling is two storeys with a traditional gable roof positioned with the low eaveline adjacent to neighbours. The roof adjacent to the appellant is 0.833m below the maximum roof height.

Only 1 neighbour, the appellant, shares a 3m side yard setback, the two other adjoining properties have 7.5m (rear) setbacks from the property line.

No other neighbours have filed objections.

Land Slope - The lot and construction envelope are flat.

Tree Growth - SilverTip Resort Guidelines for trees when the subdivision was created in 1997 are no longer considered adequate. The homeowners have consulted the Town “FireSmart” advisor and have been told to remove as many trees as possible and prepare to evacuate, not save, the home.

0.833m below
maximum roof
height

13 BGR closest
point 21.3m

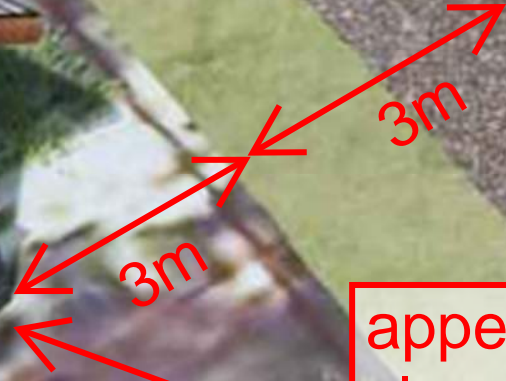


eaveline
reduced mass on 2nd level
lower eaveline



14 BGR closest
point 17.5m

appellants home -
closest point front
6m, rear 12.6m



Notice of Appeal – 12 Blue Grouse Ridge - Elaine Myron

Reasons given to deny 9% variance

2) Too large for lot size

Lot Size - The proposed Detached Dwelling is on a 1485.15m² lot, over twice as large (242%) as a typical Canmore lot (612m²).

Site Coverage – The proposed Detached Dwelling has 25.93% site coverage; the maximum site coverage is 40%.

Notice of Appeal – 12 Blue Grouse Ridge - Elaine Myron

Reasons given to deny 9% variance

3) SilverTip Guidelines, Setbacks, Height and Good Design

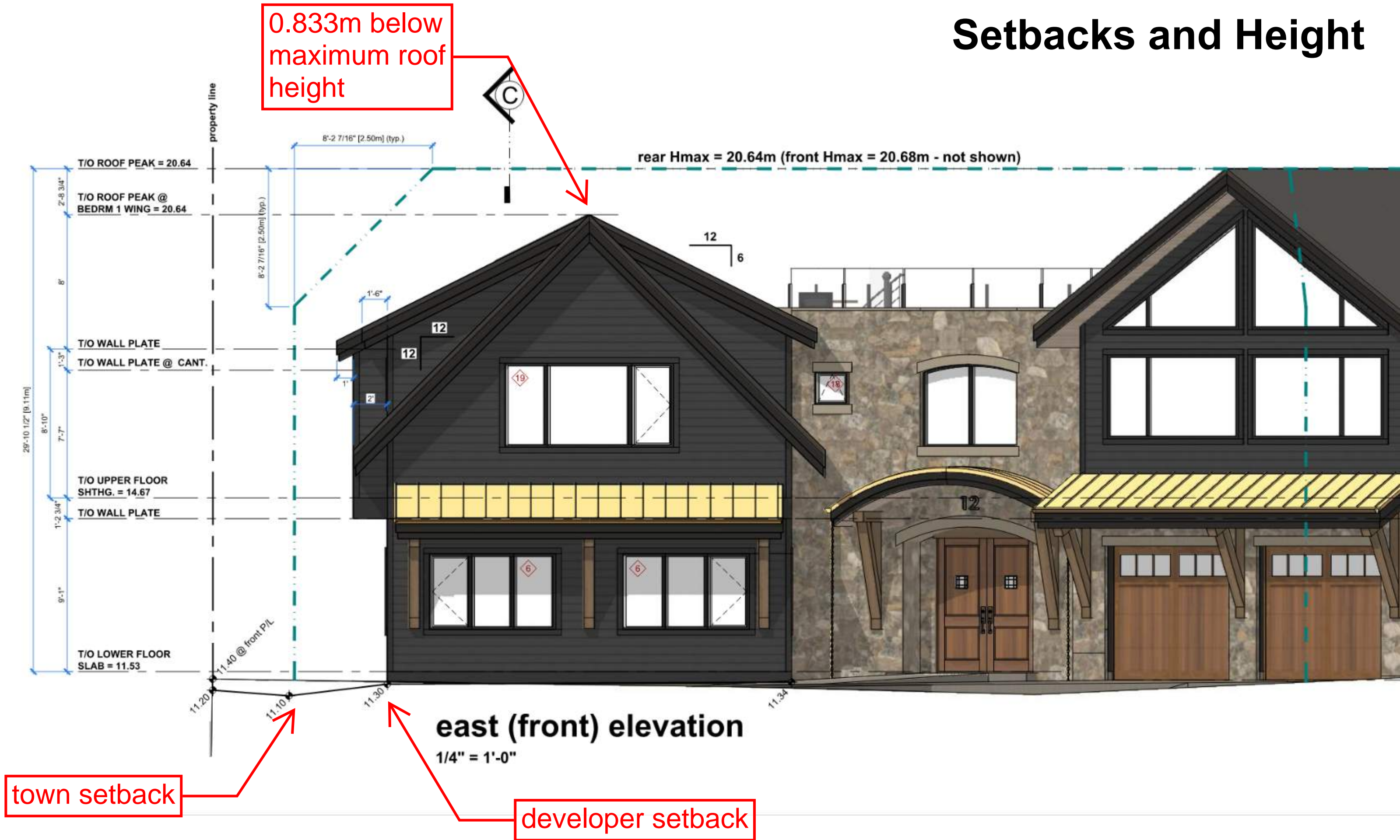
Guidelines - The proposed Detached Dwelling complies with all SilverTip Resort Guidelines and bylaws; the variance and appeal is to the Town. NOTE; this is a new Town limitation on maximum size of properties in this subdivision

Setbacks – The proposed Detached Dwelling is within all SilverTip Resort and municipal setbacks.

Height – The proposed Detached Dwelling is between 0.04m and 0.833m (1 ½” – 2’-8 ¾”) below the maximum roof heights.

Good Design – The proposed Detached Dwelling has been approved by the SilverTip Resort and the Town.

Setbacks and Height



Notice of Appeal – 12 Blue Grouse Ridge - Elaine Myron

Reasons given to deny 9% variance

4) Building Envelope, Much Larger than Other Homes

Building Envelope – As previously mentioned the proposed Detached Dwelling is within all SilverTip Resort and municipal setbacks, the variance is requesting additional space within all other restrictions. This variance is requesting additional space within the allowed building envelope not space outside or in addition to the envelope.

Much Larger Than Other Homes – The proposed Detached Dwelling is on one of the largest lots in the subdivision (3rd) and was designed to hold a larger home. It is not the largest home in Blue Grouse Ridge. There are no restrictions in home sizes based on neighbouring properties. Tim and Liz Welsh are not required to build a smaller home on their larger lot, and neighbours are not required to build larger homes on their smaller lots. The proposed Detached Dwelling is similar in size to many homes in Blue Grouse Ridge not to mention the adjacent subdivisions of Aspen Glen and Juniper Ridge. The home is designed to respectfully address the neighbouring properties with lower eavelines, reduced mass and a lower roof height than required next to the closest neighbour. It was the intent of the developer to create different sized lots for different sized homes.

Juniper Ridge

Adjacent Lot Sizes

13 Blue Grouse
1940 m₂

subject property
12 Blue Grouse
1495 m₂

Appellant
11 Blue Grouse
1384 m₂

Blue Grouse Ridge

2 Blue Grouse
2011 m₂



Notice of Appeal – 12 Blue Grouse Ridge - Elaine Myron

Reasons given to deny 9% variance

5) Spirit and Intent

Spirit and Intent – The proposed Detached Dwelling meets all of the developer guidelines and restrictions, it meets the spirit and intent of their bylaws, no SilverTip Resort variances are required. SilverTip Resort approval has been granted.

Town Maximum GFA bylaws were recently changed to include all R1 lots including the two or three remaining undeveloped lots in Blue Grouse Ridge. It is not the spirit or intent of the Town to restrict only two lots in a neighbourhood to the benefit of the majority who have not had this restriction. The proposed variance is 9%, within the Towns variance powers and not excessive.

Summary

Tim and Liz Welsh have proposed a Detached Dwelling that meets all of the SilverTip Resort guidelines and restrictions, it meets the spirit and intent of their bylaws, no variances are required. SilverTip Resort approval has been granted.

The Home was designed to minimize impact on neighbouring properties while maximizing the views. During the posting period we were made aware that the adjacent neighbour was concerned about the rear deck overlooking one of their bedroom windows. While there are no restrictions on decks or requirement to provide screening Tim and Liz Welsh have offered to provide a 6' screen on the side of the deck adjacent to the appellant. This offer has been rejected.

As with all Canmore homes views are critical, for this reason, even in the event of a refusal of the variance there will be no changes to the location and size of the deck or the home adjacent to the neighbouring property.

We would like to respectfully request that the Board denies the appeal and grant Tim and Liz Welsh the 9% variance to the GFA.