

Agenda
Canmore Planning Commission
Canmore Civic Centre – Council Chambers
Wednesday, May 21, 2025, at 3:00 p.m.

- A. Call to Order
- B. Land Acknowledgement
- C. Adoption of Agenda
- D. Approval of Minutes of March 26, 2025, meeting
- E. Development Permit Applications:
 - 1. PL20250172 Altitude at Three Sisters
500 Cascade Drive
Lot 6, Block 24, Plan 241 0460
Development Permit Amendment to Revise Amenity Space and Include Spa Area
Variances being requested: None
- F. Other Planning Business
None
- G. Next Scheduled Meeting
Wednesday, June 25, 2025, at 2:00pm
- H. Adjourn

**TOWN OF CANMORE
MINUTES
Canmore Planning Commission
Council Chambers at the Civic Centre, 902-7 Avenue
Wednesday, March 26, at 2:00 p.m.**

MEMBERS PRESENT

Whitney Smithers	Chair
Florian Jungen	Public Representative
Hannah Perry	Public Representative
Spencer Thackray	Public Representative
Joanna McCallum	Councillor
Jeff Hilstad	Councillor

MEMBERS ABSENT

None

ADMINISTRATION PRESENT

Harry Shnider	Planning & Development Manager
Nathan Grivell	Senior Development Planner
Adam Driedzic	Town Solicitor
Briar Jones	Secretary (Recorder)

CALL TO ORDER

Chair W. Smithers called the March 26, 2025, regular meeting to order at 2:01 p.m.

VOTE FOR VICE CHAIRPERSON

It was moved by Joanna McCallum that Florian Jungen be elected as Vice Chairperson. Member Mr. Jungen accepted this nomination. There were no other nominations.

CARRIED UNANIMOUSLY

LAND ACKNOWLEDGEMENT AND ADOPTION OF AGENDA

Chair W. Smithers provided a brief land acknowledgement then moved that the Canmore Planning Commission approve the agenda for the March 26, 2025, regular meeting as circulated.

CARRIED UNANIMOUSLY

APPROVAL OF MINUTES

Chair W. Smithers moved that Canmore Planning Commission approve the minutes of the December 11, 2024, regular meeting as presented.

CARRIED UNANIMOUSLY

DEVELOPMENT PERMIT APPLICATION

1. PL20200280
101 Stewart Creek Rise
CONDOMINIUM PLAN 151 1005 UNITS 9 and 10, and CONDOMINIUM PLAN 161 2642
UNIT 20
3 Year Extension for Development Permit Application

ADMINISTRATION'S PRESENTATION OF THE APPLICATION

Administration presented a visual and verbal presentation of the application.

APPLICATION QUESTIONS FROM THE BOARD

Chair W. Smithers questioned the three-year extension as listed under the Administration Recommendation slide. In the report that was circulated prior to the meeting, the Development Permit was listed as a renewal. Mr. Grivell clarified that renewal typically means two years as opposed to the three-year extension that the administration is currently recommending.

QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON

None

QUESTIONS/COMMENTS FROM THE PUBLIC.

None

DECISION

Chair W. Smithers moved that application PL20200280 be granted an extension for a three-year period.

CARRIED UNANIMOUSLY

OTHER PLANNING BUSINESS

None

NEXT SCHEDULED MEETING

Wednesday, April 30, 2025, at 2:00pm

ADJOURNMENT

Chair W. Smithers moved that the Canmore Planning Commission adjourn the March 26, 2025, regular meeting at 2:11 p.m.

CARRIED UNANIMOUSLY

Whitney Smithers, CPC Chair

Briar Jones, Secretary

CANMORE PLANNING COMMISSION

STAFF REPORT



DATE:	May 21, 2025
PROPOSED DEVELOPMENT:	AMENDMENT TO DEVELOPMENT PERMIT PL2020350
APPLICATION NUMBER:	PL20250172
LEGAL DESCRIPTION:	LOT 6 BLOCK 24 PLAN 241 0460
CIVIC ADDRESS:	500 CASCADE DRIVE
CURRENT USE(S):	APARTMENT BUILDING (4 BUILDINGS AT 40, 63, 56, AND 56 UNITS) AND TOWNHOUSE (3 BUILDINGS AT 8 UNITS EACH)
APPLICANT:	METAFOR ARCHITECTURE INC.
REFERENCED DOCUMENTS:	LAND USE BYLAW 2018-22: <ol style="list-style-type: none">1. SECTION 3.11 Residential Comprehensive Multiple Unit, Stewart Creek District2. SECTION 11 Community Architectural & Urban Design Standards

EXECUTIVE SUMMARY

This application proposes an amendment to Development Permit PL20230350 (Altitude at Three Sisters) to revise a portion of the landscaping plan. The revision is to replace a Pergola/Picnic Area with a Spa Area, which will include hot tub, sauna, fire pit, and changing room/washroom. The need for this amendment is in response to market demands which have informed the proposed amenity area. Site coverage requirements and landscaping requirements are within the required provisions of the Land Use Bylaw.

BACKGROUND

The Development Permit (PL20230350) was approved by the Canmore Planning Commission on June 19, 2024. The Request for Decision report provided to the Commission is attached to this report (Attachment 5).

EXISTING SITE

The subject site is located within the R3 SCI Residential Comprehensive Multiple Unit, Stewart Creek District at 500 Cascade Drive (Attachment 1). The purpose of this district is to provide for multi-unit residential development in the Stewart Creek neighbourhood at medium densities on larger sites for comprehensively designed developments and other compatible residential neighbourhood uses.

BYLAW CONFORMANCE/VARIANCE DISCUSSION

Altitude at Three Sisters was required to provide a total of 572 trees and 655 shrubs and provide a landscaping area of 40%. Development Permit PL20230350 provided a total of 785 trees and 1032 shrubs, with a total landscaped area of 47.72%. A review of the plans shows no significant changes to the total tree and shrub count; however, it is recommended that as a prior to release condition, the applicant shall submit final landscaping counts to demonstrate compliance with the land use bylaw (Attachment 3).

The maximum site coverage in the R3 SCI District is 40% (section 3.11.3.7) of the Land Use Bylaw. Development Permit PL20230350 provided a site coverage of 27.75%. The proposed amendment increases the maximum site coverage from 27.75% to 35.2% and is still within the requirements of the Land Use Bylaw.

The submitted plans can be found at Attachment 4. Administration supports the proposed amendment to Development Permit PL20230350. In its opinion, the proposed change to the amenity is consistent with the intent of the original development permit and meets the requirements of the Land Use Bylaw.

OPTIONS FOR CONSIDERATION

Should the Canmore Planning Commission not approve this development permit application, the applicant will be required to construct the amenity area approved with the original Development Permit.

The CPC has three options:

1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Postpone the application, pending submission of any additional details requested by CPC.

RECOMMENDATION

Planning recommends that the Canmore Planning Commission **APPROVE** PL20250172, subject to the conditions of approval set out in Schedule A (Attachment 2).

ATTACHMENTS:

1. Site Context
2. Schedule A – Conditions of Approval
3. Submitted Plans
4. PL20230350 Request for Decision (May 22, 2024) and Schedule A – Conditions of Approval

Jennica Collette

Jennica Collette
Development Planner

ATTACHMENT I – SITE CONTEXT



Figure 1 Aerial View of Site

★ Subject Site

ATTACHMENT 2 – SCHEDULE A

SCHEDULE A

CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20250172

LAND USE DISTRICT: R3 SC1 Residential Comprehensive Multiple Unit,
Stewart Creek District

APPROVED USE(S): AMENDMENT TO PL20230350
(AMENITY AREA)

APPROVED VARIANCE(S): NONE

MUNICIPAL ADDRESS: 500 Cascade Drive

LEGAL ADDRESS: LOT 6, BLOCK 24, PLAN 241 0460

APPROVED VARIANCES

1. None.

STANDARD CONDITIONS

1. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
2. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
3. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw (Bylaw 2019-10), as amended or replaced from time to time, and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore's Public Works Department.
4. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
5. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
6. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.
7. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.



Planning & Development Department

Town of Canmore
902 - 7th Avenue
Canmore, AB, T1W 3K1
www.canmore.ca

SPECIFIC CONDITIONS

1. All Conditions of Approval for PL20230350 shall remain in effect.

PRIOR TO RELEASE OF DEVELOPMENT PERMIT

1. Prior to the release of the Development Permit, the developer shall provide a landscape plan that provides the final tree and shrub count for the development. The provided tree and shrub count shall comply with Land Use Bylaw 2018-22.
2. Prior to the release of the Development Permit, the developer shall provide a Civil Design Narrative, Stormwater Management Plan (SWMP) and Stormwater Management drawing. The SWMP intent could be satisfied with a brief description in the civil design narrative describing the intent and impacts to stormwater design. This shall be completed to the satisfaction of the Development Authority.

Signature
Chair, Canmore Planning Commission

Date

IS A NOTICE POSTING REQUIRED: YES NO

ATTACHMENT 3: SUBMITTED PLANS

Town of Canmore – Planning and Development
902 7th Ave
Canmore, Alberta T1W 3K1

April 28, 2025

Attention **Jennica Collette**
Phone 403.678.1500
Email jennica.collette@canmore.ca

Re: **Altitude at Three Sisters**
 Development Permit Amendment - PL20230350
 Our File: **22.108**

Dear Jennica:

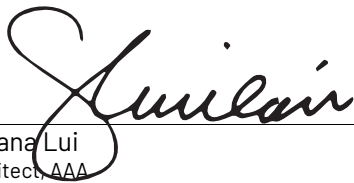
METAFOR, on behalf of Logel Homes, has been the main applicant for Development Permit PL20230350 Altitude at Three Sisters located at Lot 6, Block 24, Plan 241 0460, Three Sisters Mountain Village Properties LTD.

As the project has evolved over the past few years, we would like to provide you with an update on the latest developments, which have been implemented in response to market demands and as a result of close coordination with all relevant disciplines.

1. Proposed Spa Area adjacent to Building 2 in lieu of Pergola/Picnic area. This Spa Area includes hot tub, sauna, fire pit and changing room / washroom.
2. Site coverage revisions within parameters of permitted site coverage.

We look forward to working closely with you and ensure that there is a successful review.

Regards,



Susana Lui
Architect, AAA



ISSUED FOR DP
 AMENDMENT
 2025-04-28

THIS AMENDMENT PERTAINS TO THE REDESIGN OF PERGOLA AND BBQ AREA TO ACCOMODATE A NEW SPA AREA FOR RESIDENT'S USE ONLY. THE PROPOSED DESIGN INCLUDES HOT TUB, FIREPLACE, SAUNA, WASHROOMS AND BACK OF HOUSE FACILITIES

ALTITUDE AT THREE SISTERS

Stewart Creek, Canmore AB

PREPARED FOR LOGEL HOMES 

Architecture

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 310-625 11th Ave SW
 Calgary, AB T2R 0E1
 t: 403.264.8700
 www.METAFOR.studio

Structural

TRL & Associates
 100-1615 10th Ave SW
 Calgary, AB T3C0J7
 t: 403-244-4944
 www.trleng.ca

Mechanical

TLJ Engineering
 #301, 301-14th Street, NW
 Calgary, AB T2N 2A1
 t: 825-609-6848
 www.tlj-eng.com

Electrical

TLJ Engineering
 #301, 301-14th Street, NW
 Calgary, AB T2N 2A1
 t: 825-609-6848
 www.tlj-eng.com

Civil

Jubilee Engineering Consultants Ltd.
 3702 Edmonton Trail NE
 Calgary, AB T2E 3P4
 t: 403-276-1001
 www.jubileeengineering.com

Landscape

pLAnt studio
 1006, 105 26th Ave SW
 Calgary, AB, T2S 0M3
 t: 647-998-2045

PROJECT STATISTICS

DEVELOPMENT DESCRIPTION
The Altitude at Three Sisters development consists of one 3-Storey apartment building, three 4-Storey apartment buildings and three 3-Storey townhouse buildings. There are a total of 239 residential units proposed.

Apartments units: 216
Townhouses units: 24

MUNICIPAL ADDRESS
Stewart Creek, Canmore AB

LEGAL ADDRESS (Plan/Block/Unit/Lot)
Plan 2410460 Block 24 Lot 6

BUILDING CLASSIFICATION
Group C - Residential Occupancy

ZONING DISTRICT
R3 SC1 - Residential Comprehensive Multiple Unit, Stewart Creek District
Land Use Bylaw Section 3.11

SETBACKS
See 2/D/1.01 for approach to property line definition
The Combined front and rear yard shall be a minimum of 16.5m (LUB 3.11.3.4)
Front Yard Setback Required (LUB 3.11.3.1): min. 3.0m
Proposed: 3.0m
Side Yard Setback Required (LUB 3.11.3.2): min. 3.0m
Proposed: 3.0m
Rear Yard Setback Required (LUB 3.11.3.3): min. 3.0m
Proposed: 13.5m
Maximum permitted projections in yard setback: (LUB 2.4.3.1)
As per table 2.4-1

GROSS FLOOR AREA (GFA)		GROSS FLOOR AREA (GFA)	
BUILDING 1	1,114 m ²	BUILDING 5	581 m ²
LEVEL 1 - MAIN	1,108 m ²	LEVEL 1 - MAIN	581 m ²
LEVEL 2	1,103 m ²	LEVEL 2	581 m ²
LEVEL 3	1,103 m ²	LEVEL 3	581 m ²
LEVEL 4	4,429 m ²	BUILDING 6	581 m ²
BUILDING 2	1,926 m ²	LEVEL 1 - MAIN	581 m ²
LEVEL 1 - MAIN	1,911 m ²	LEVEL 2	581 m ²
LEVEL 2	1,911 m ²	LEVEL 3	581 m ²
LEVEL 3	5,749 m ²	BUILDING 7	581 m ²
BUILDING 3	1,379 m ²	LEVEL 1 - MAIN	581 m ²
LEVEL 1 - MAIN	1,379 m ²	LEVEL 2	581 m ²
LEVEL 2	1,379 m ²	LEVEL 3	581 m ²
LEVEL 3	1,375 m ²	LEVEL 4	1,776 m ²
LEVEL 4	5,506 m ²	Total Area	26,548 m ²
BUILDING 4	1,386 m ²		
LEVEL 1 - MAIN	1,386 m ²		
LEVEL 2	1,382 m ²		
LEVEL 3	1,382 m ²		
LEVEL 4	5,536 m ²		

SITE KEYNOTE LEGENDS

Key Value	Keynote Text
S01	PAD MOUNT TRANSFORMER
S02	GAS METER AREA. SEE MECHANICAL.
S03	LOCATION OF INTAKE AIR WELL FOR PARKADE MAKE UP AIR UNIT. SEE MECHANICAL.
S04	PARKADE EXHAUST AIR WELL WITH GRATE AT GRADE. SEE MECHANICAL.
S05	RETAINING WALL. REFER TO CIVIL DRAWINGS.
S05a	RETAINING WALL WITH GUARDRAIL (ALONG PROPERTY LINE). REFER TO CIVIL DRAWINGS.
S06	DENOTES PARKADE FOOTPRINT BELOW
S07	DENOTES ROOF FOOTPRINT ABOVE
S08	PROVISION FOR SOLAR PANELS ON ROOF
S09	PROJECT IDENTIFIER SIGN
S10	PROVISION FOR FUTURE SOLAR READY
S11	SIAMSESE CONNECTION
S12	LOCKBOX, STROBE FIRE ALARM PANEL AT PRINCIPAL ENTRANCE
S13	1:12 SLOPE BARRIER FREE RAMP AND RAILING TO MEET CITY OF CALGARY ACCESS DESIGN STANDARDS
S14	CURB RAMPS TO BE CW TACTILE PLATES AS PER CITY OF CALGARY ROAD SPECIFICATIONS
S15	ANIMAL PROOF WASTE CONTAINERS
S16	PRIVATE PATIO. SEE FLOOR PLAN.

GEODETIC ELEVATIONS

Refer to overall site plan for main floor elevations for each building.

EAVELINE HEIGHT (LUB 3.11.3.5)
Allowable height: Maximum 9.0m;
Proposed height:
Building 1 - 11.7m (+30%)
Building 2 - 8.9m
Building 3 - 11.7m (+30%)
Building 4 - 11.7m (+30%)
Building 5 - 8.7m
Building 6 - 8.7m
Building 7 - 8.7m

BUILDING HEIGHT (LUB 3.11.3.5)
Allowable Height: Maximum 12.0m;
Proposed Height:
Building 1 15.55m (+29.60%)
Building 2 13.75m (+14.50%)
Building 3 15.55m (+29.60%)
Building 4 15.55m (+29.60%)
Building 5 13.05m (+8.75%)
Building 6 13.05m (+8.75%)
Building 7 13.05m (+8.75%)

SITE AREA

Area (Metric)	Area (Hectare)	Area (Acres)
27,444 m ²	2.74 hectare	6.78 acres

GROSS FLOOR AREA - GFA

Building	GFA (m ²)	GFA (ft ²)
BUILDING 1	4,429 m ²	47,673 ft ²
BUILDING 2	5,749 m ²	61,878 ft ²
BUILDING 3	5,506 m ²	59,270 ft ²
BUILDING 4	5,536 m ²	59,589 ft ²
BUILDING 5	1,776 m ²	19,118 ft ²
BUILDING 6	1,776 m ²	19,118 ft ²
BUILDING 7	1,776 m ²	19,118 ft ²
Total Area	26,548 m ²	285,764 ft ²

SITE COVERAGE

Area	PERMITTED
SITE AREA	40% LUB 3.11.3.7
27,444 m ²	10,977 m ²
Proposed:	35.2%

FLOOR AREA RATIO

0.967 F.A.R.

DENSITY

Min (LUB 3.11.3.8)	PERMITTED			Max 30% Variance (LUB 1.14.1.1, 12.2.0.2)
	Units	Units	Units	
30	82.33	67	183.87	239.03

DENSITY PROPOSED: 240

MULTI-UNIT ENTRY LEVEL HOUSING REQUIREMENTS

Required: 25% of the units developed within this district must qualify as Entry Level Housing or Perpetually Affordable Housing (LUB 3.11.4.1)
Proposed: 72% (155/216) of Apartment Units would qualify as Entry Level Housing
Proposed: 4 Perpetually Affordable Housing (PAH) units are proposed in order to qualify for proposed height, eave line and density variances.

PARKING REQUIREMENTS

APARTMENT BUILDING	UNITS	PERMITTED (2.7.7)		PROVIDED
		MINIMUM	MAXIMUM	
Building 1	40	43.7	55	56
Building 2	64	72.45	90	89
Building 3	56	64.4	82	75
Building 5	56	64.4	82	76

TOWNHOUSE BUILDING	UNITS	PERMITTED (2.7.7)		PROVIDED
		MINIMUM	MAXIMUM	
Building 5 - Townhouse	8	9.2	16	16
Building 6 - Townhouse	8	9.2	16	16
Building 7 - Townhouse	8	9.2	16	16

SURFACE PARKING STALLS	PROVIDED	
	Assigned Parallel	Assigned Regular
Assigned Parallel	2	8
Assigned Regular	4	4
Visitor BF Parallel	<varies>	3
Visitor BF Regular	<varies>	21
Visitor Parallel	<varies>	38

UNITS	MINIMUM	MAXIMUM	TOTAL PARKING STALLS
240	308.1	392.55	382

(VISITOR PARKING STALLS INCLUDE 02 EV CHARGER AND 06 ACCESSIBLE PARKING STALLS FOR VISITORS)

REQUIRED LOADING STALLS (LUB 2.7.3)

Minimum 1 stall per building (unless it can be otherwise demonstrated to the Development Authority that loading can reasonably take place without a dedicated stall on-site, or that it can be shared amongst multiple developments and/or tenants to minimize the number of loading stalls required.)

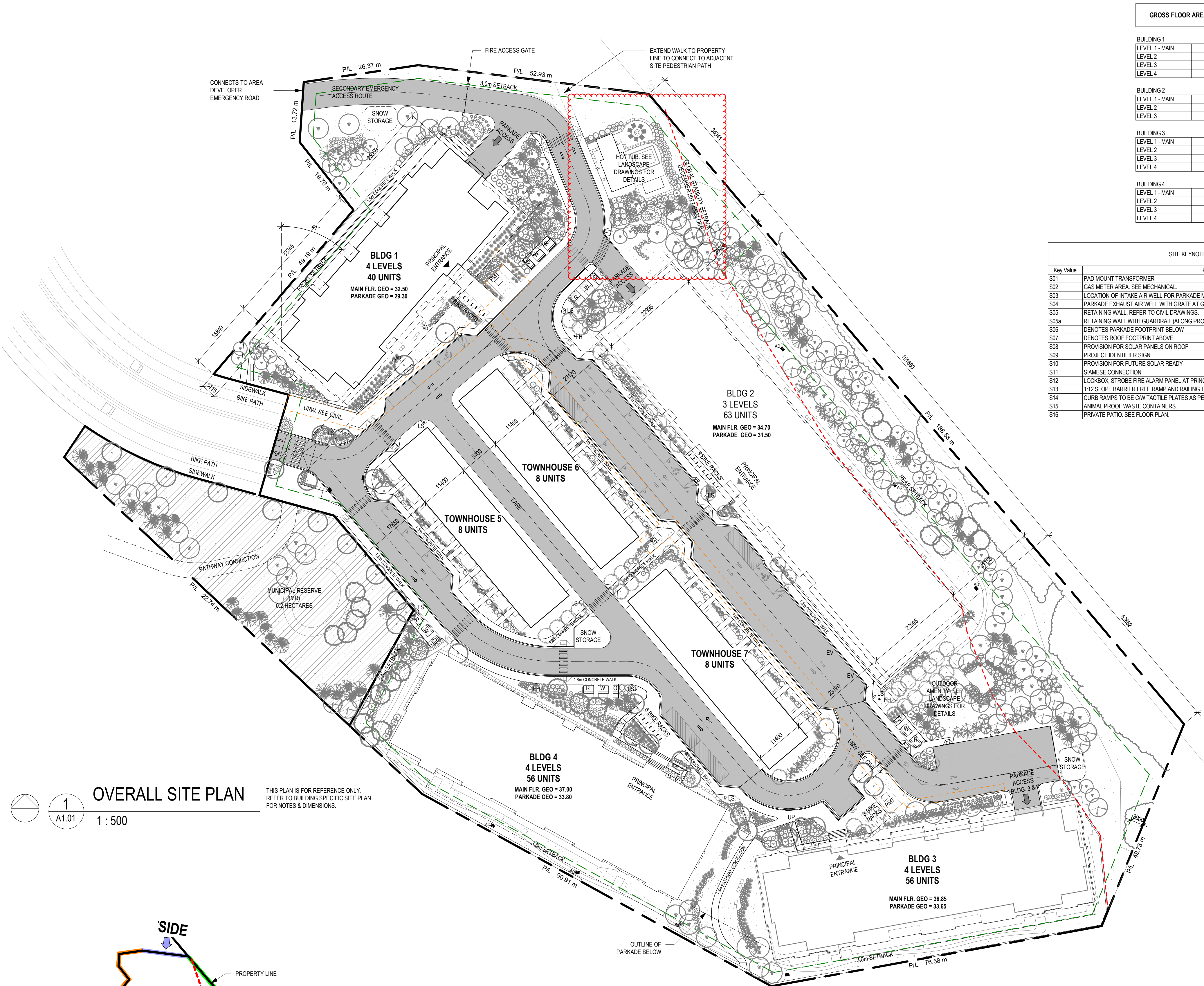
TOTAL LOADING STALLS
Building 1 to Building 4 are proposed have one loading stall each.

BICYCLE PARKING - LONG TERM

Building	UNITS	REQUIRED (1.5/UNIT)	PROVIDED
Building 1	40	60	80
Building 2	64	96	128
Building 3	56	84	100
Building 5	56	84	124
Total		319.5	430

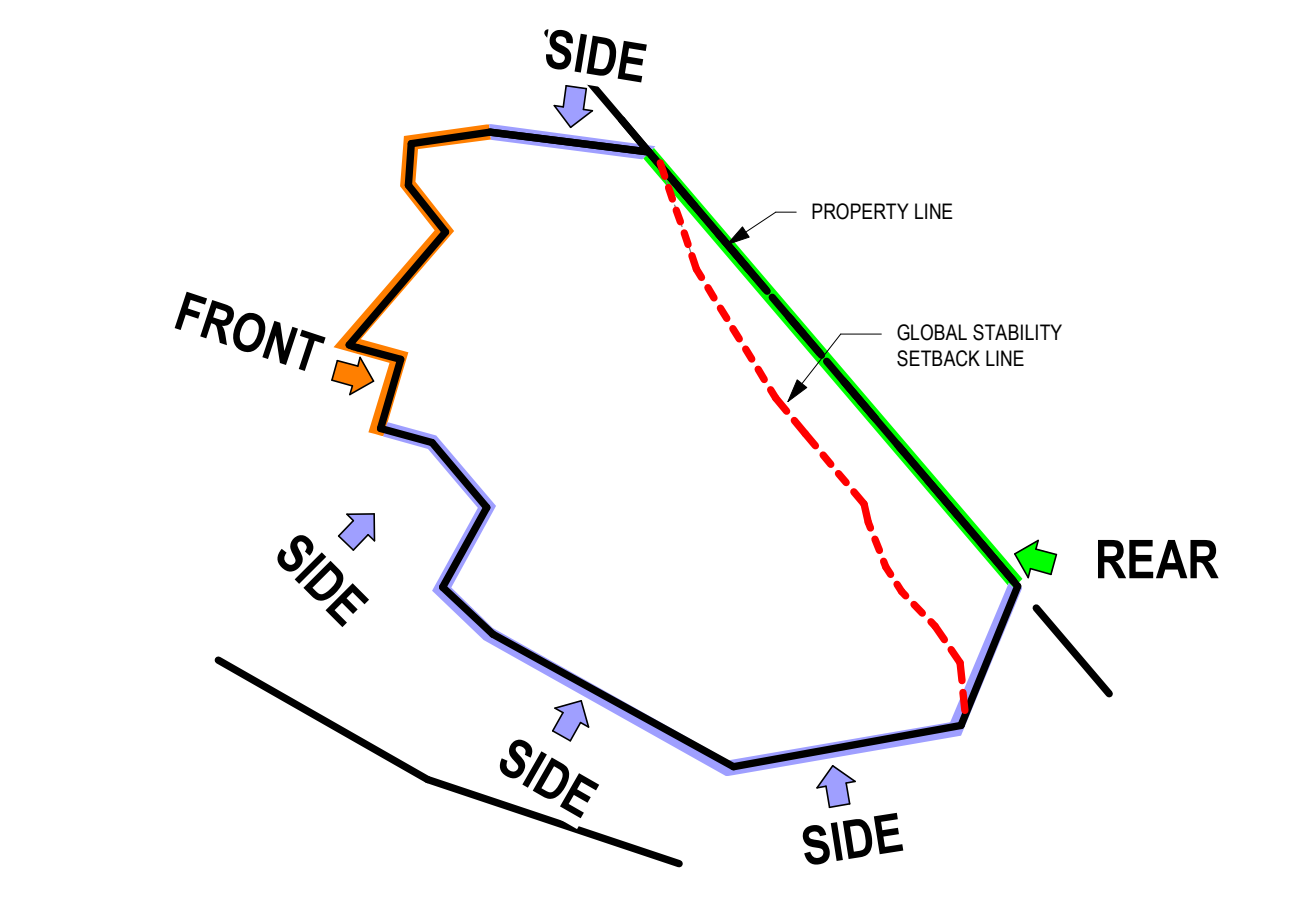
BICYCLE PARKING - SHORT TERM

Building	UNITS	REQUIRED (0.25/Unit (Apartment), 0.15/Unit (Townhouse))	PROVIDED
Building 1	40	10	15
Building 2	64	16	20
Building 3	56	14	18
Building 5	56	14	18
Building 5 - Townhouse	8	1.2	1.2
Building 6 - Townhouse	8	1.2	1.2
Building 7 - Townhouse	8	1.2	1.2
Total	240	56.85	62

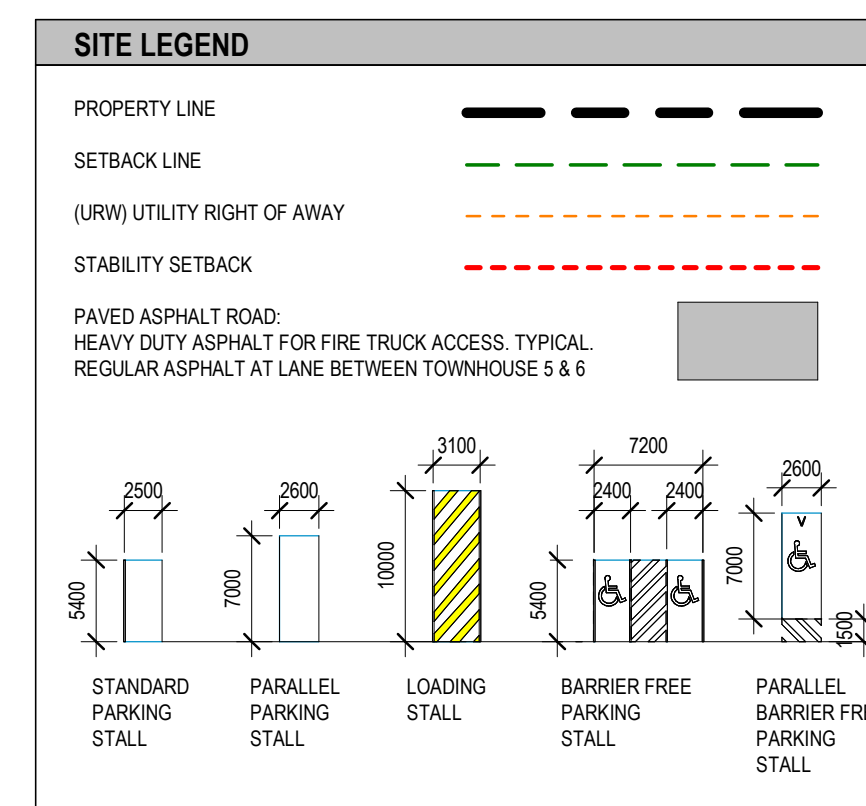


1 OVERALL SITE PLAN
1 : 500

THIS PLAN IS FOR REFERENCE ONLY. REFER TO BUILDING SPECIFIC SITE PLAN FOR NOTES & DIMENSIONS.



2 SETBACKS DIAGRAM
1 : 2500



issued/ revision schedule

no.	description	date
1	BP / TENDER REVIEW	2024-08-05
2	ISSUED FOR BUILDING 1 BUILDING PERMIT	2024-10-16
3	ISSUED FOR CONSOLIDATION - IFC	2025-02-19
4	ISSUED FOR DP AMENDMENT	2025-04-24

seal

permit

consultant

METAFOR

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drawing title

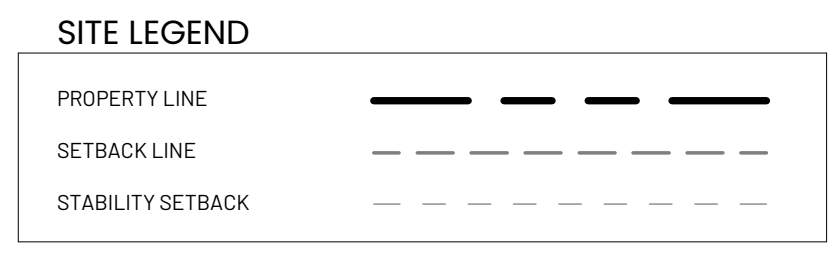
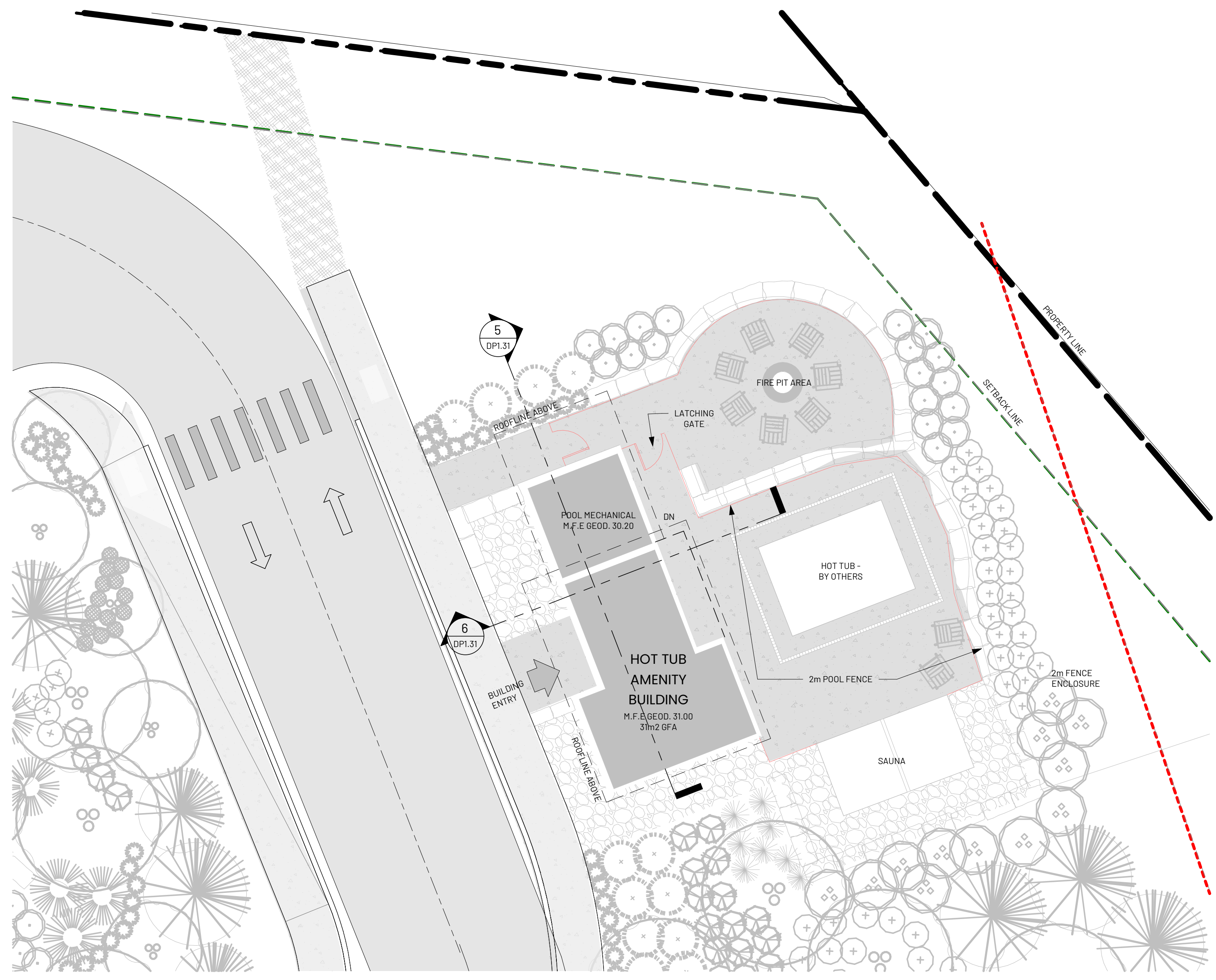
SITE PLAN - OVERALL

sheet

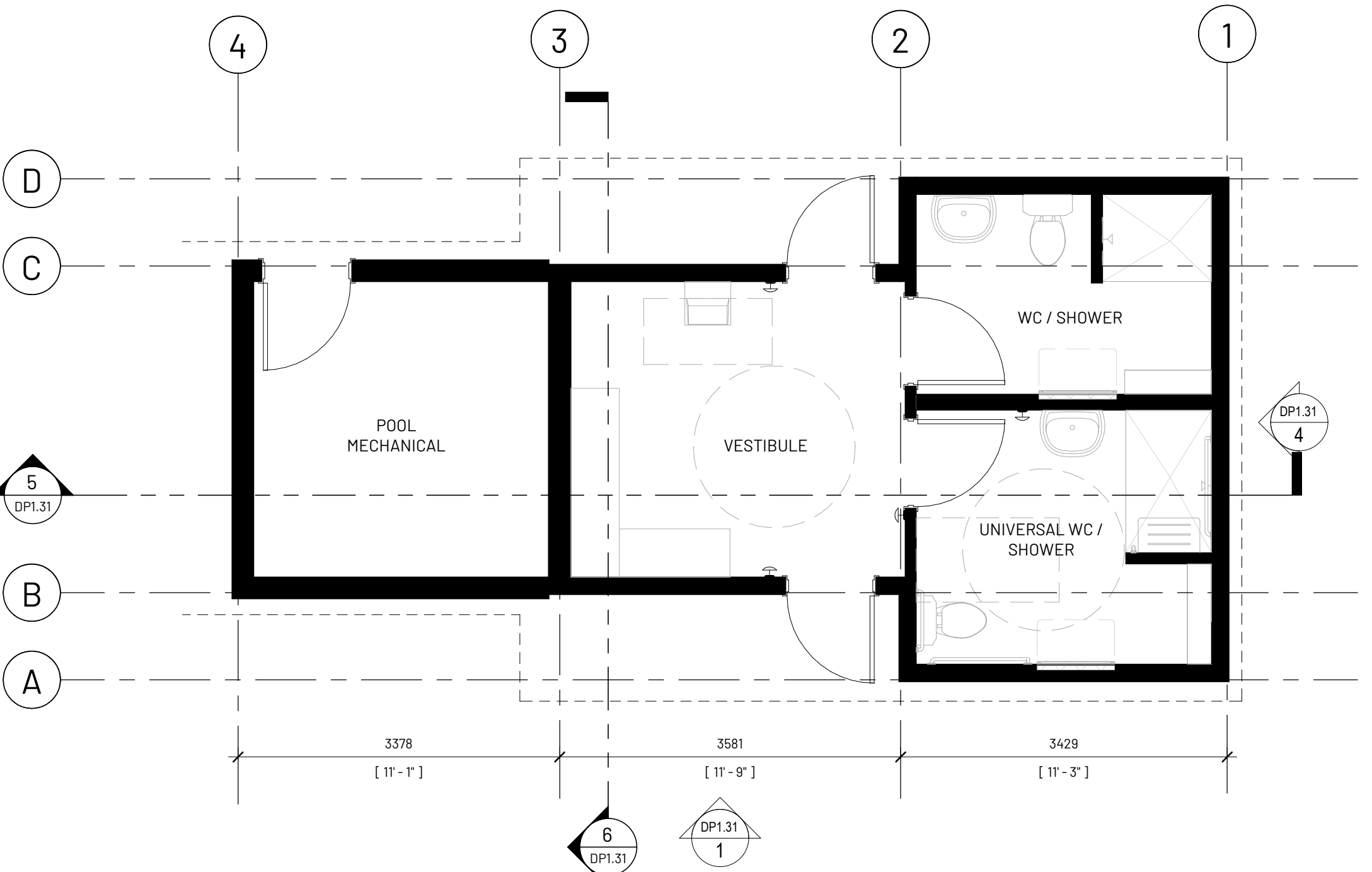
A1.01

drawn scale
KELTEC_DT As indicated

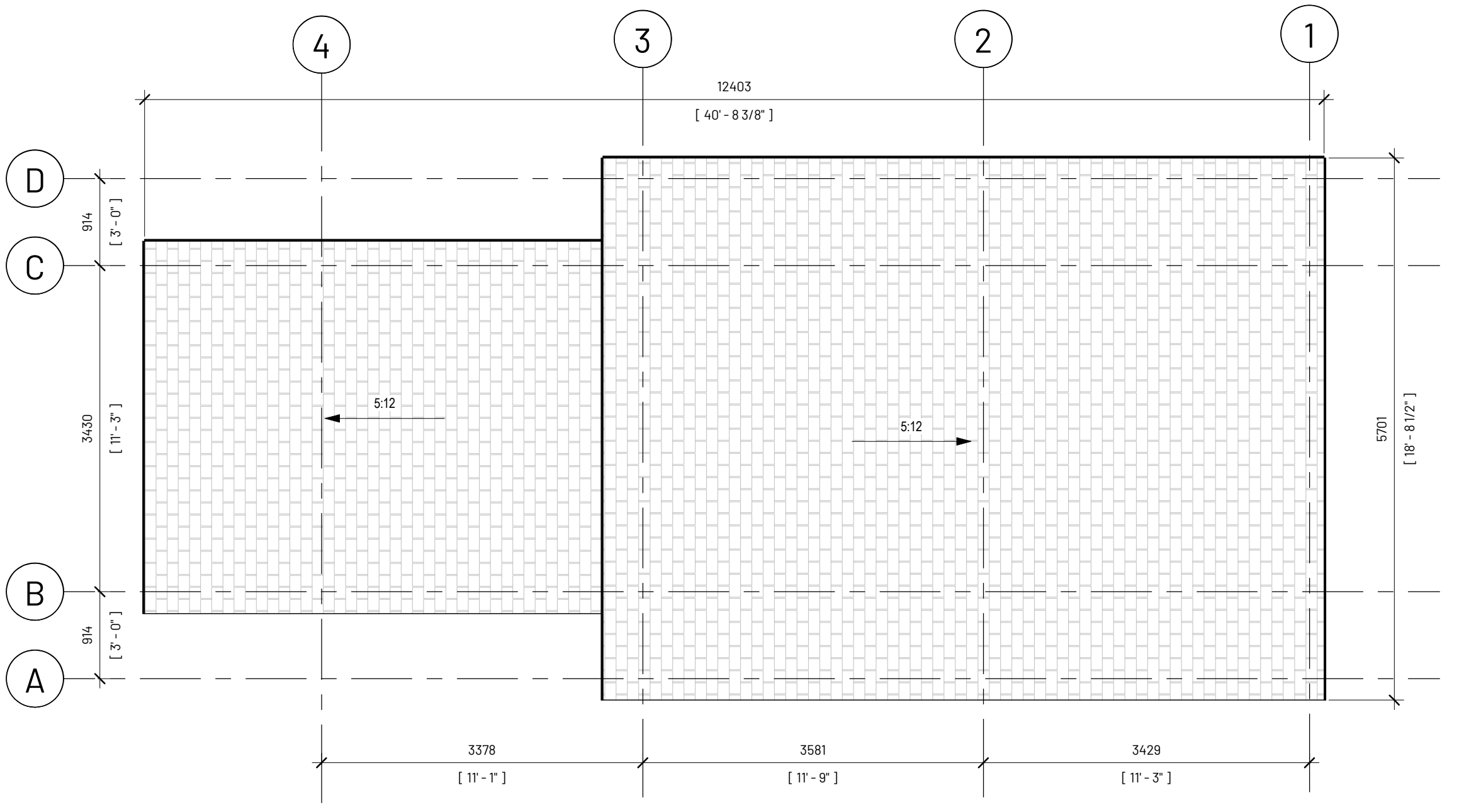
checked project no.
SL / BA 22.108



1 SITE PLAN
DPI.30
1 : 100



2 MAIN FLOOR PLAN
DPI.30
1 : 50



3 ROOF PLAN
DPI.30
1 : 50

issued/ revision schedule

no.	description	date
1	ISSUED FOR REVIEW	2025-03-31
2	DP AMENDMENT	2025-04-25

seal

permit

consultant

METAFOR

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drawing title

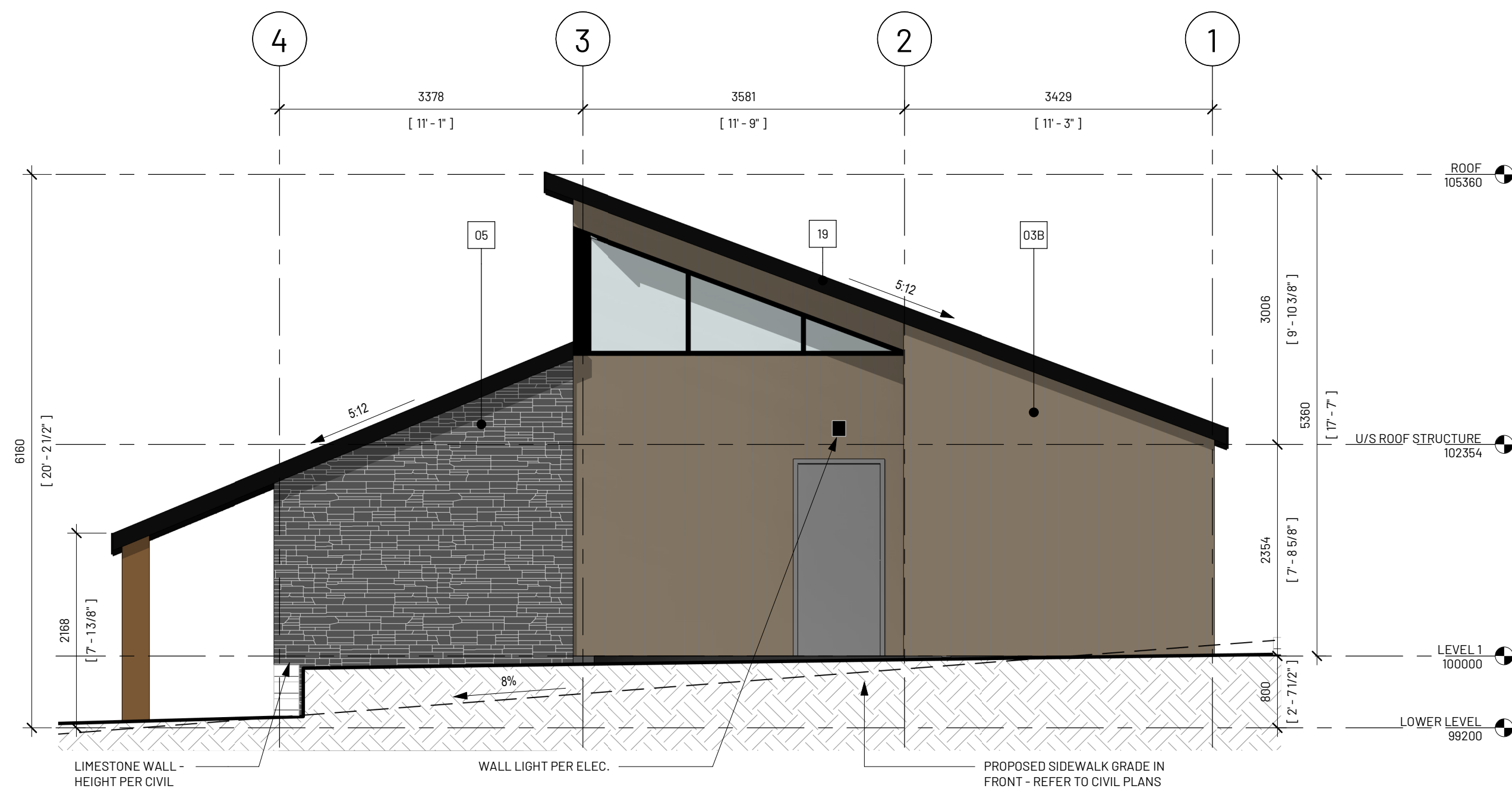
FLOOR PLANS

sheet

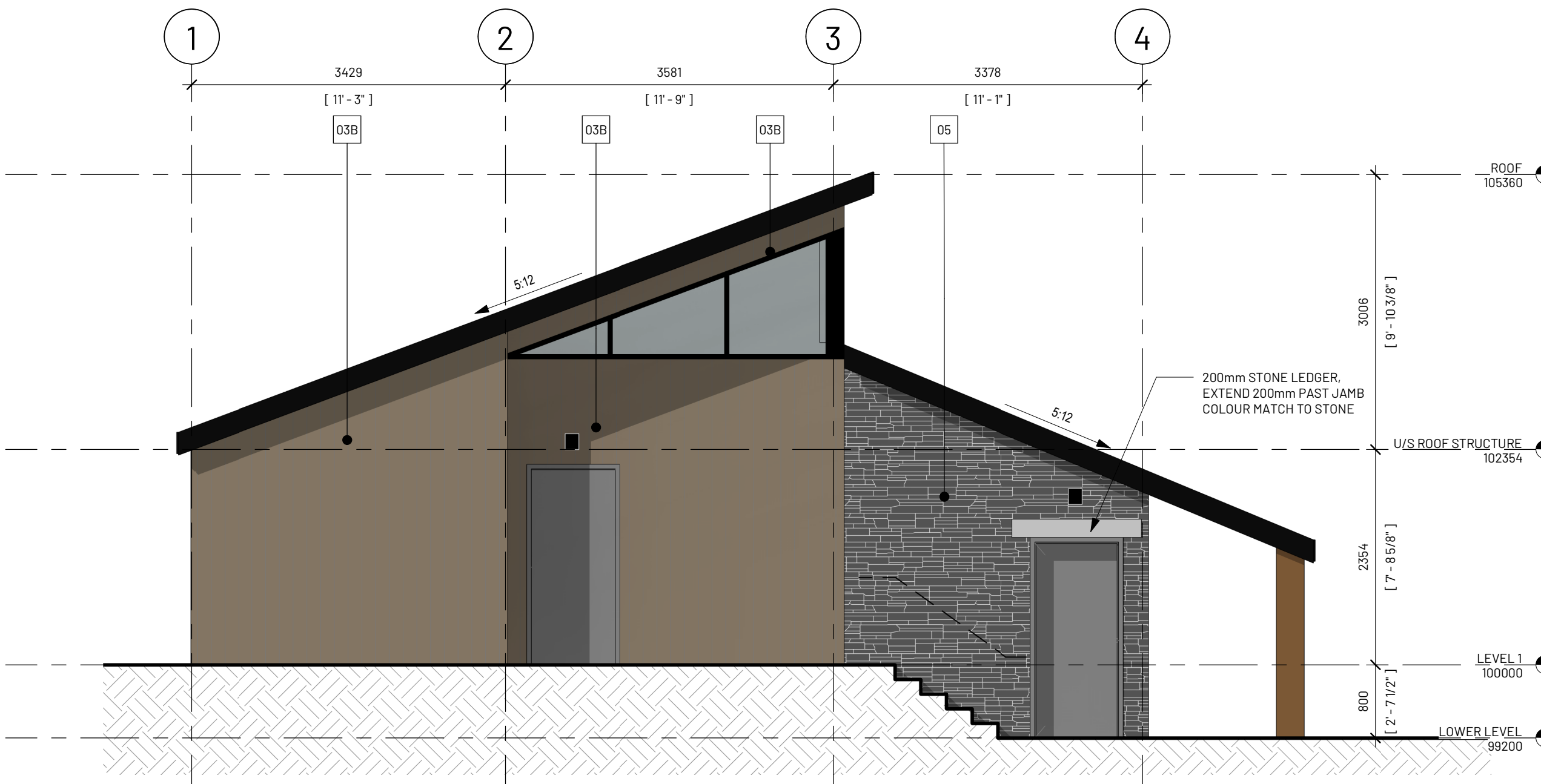
DP1.30

drawn	scale
JC	As indicated
checked	project no.
Checker	22.108

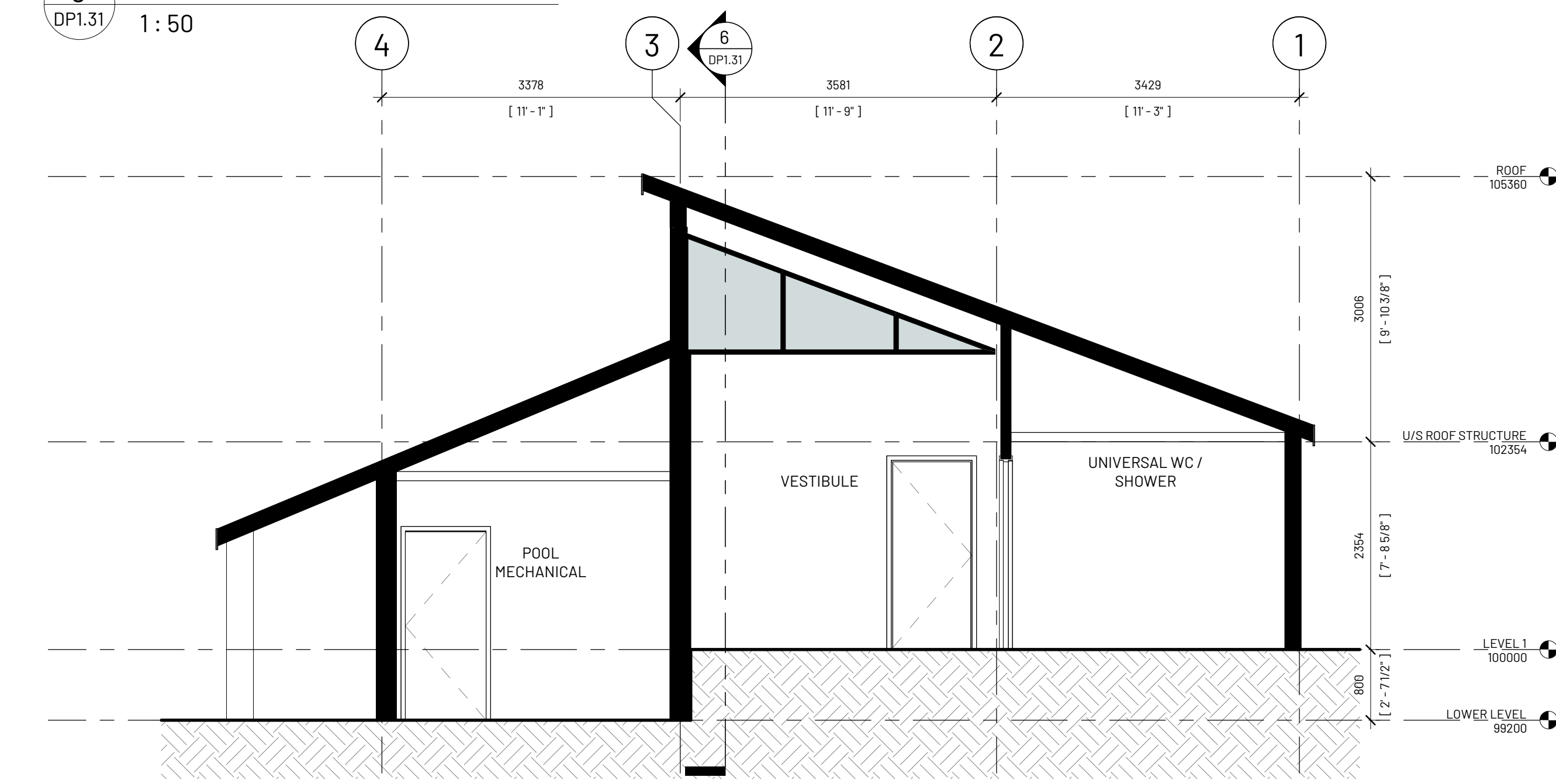
Autodesk Docs (2) 108 Logoff Home: Canmore02: 108: Altitude at Three Sisters Mt 1.dwg



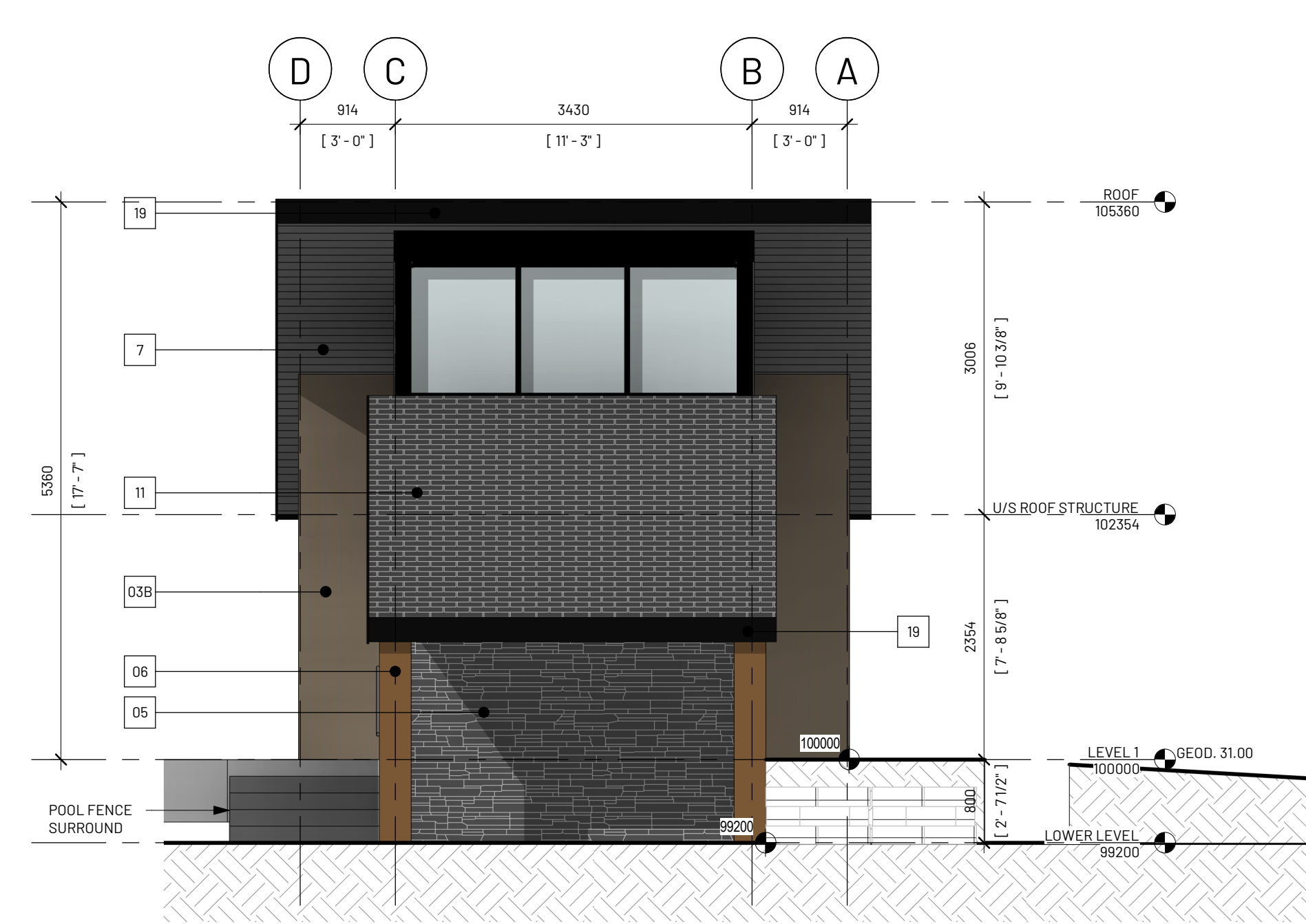
1 FRONT ELEVATION
DP1.31 1:50



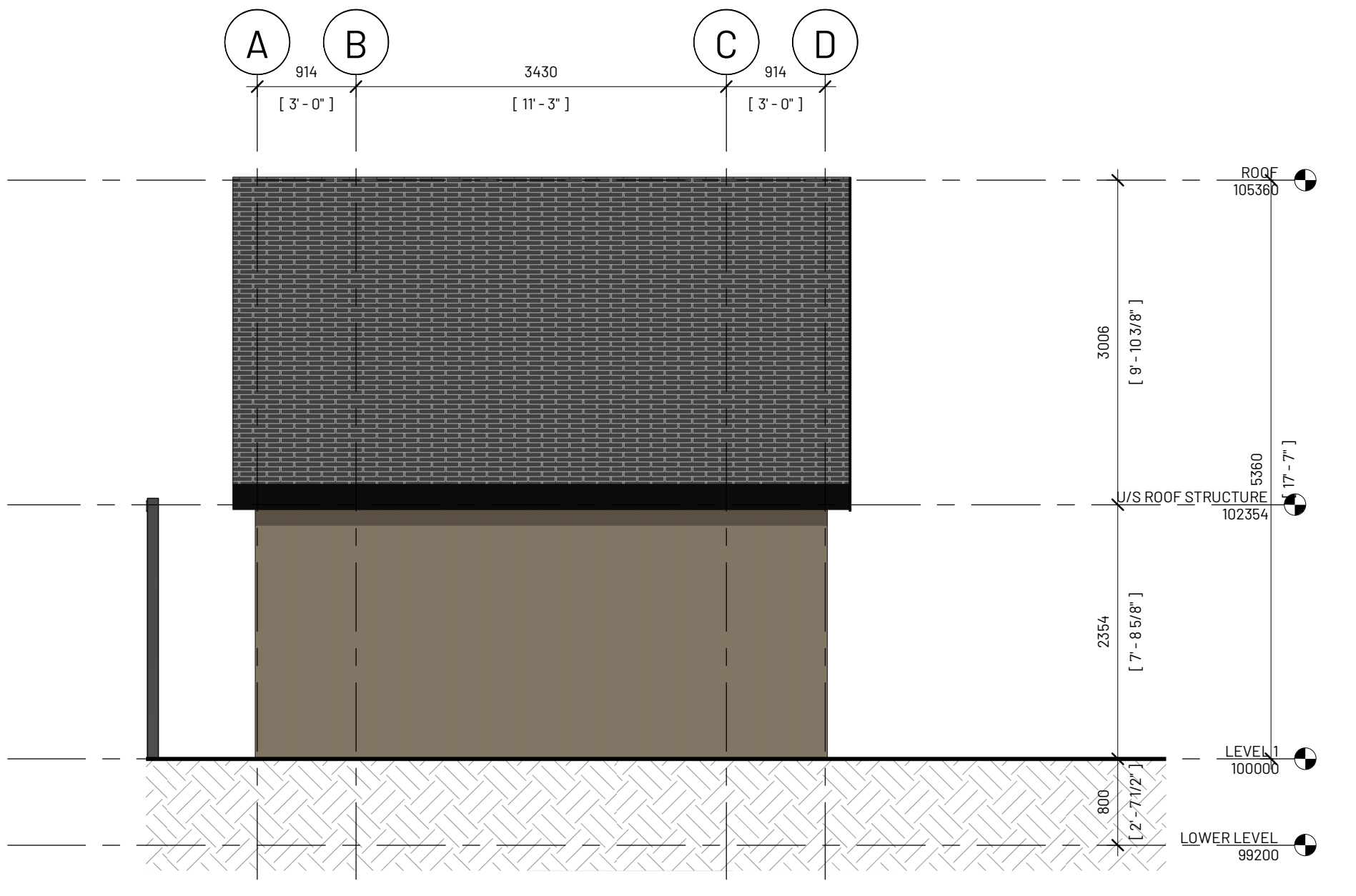
3 BACK ELEVATION
DP1.31 1:50



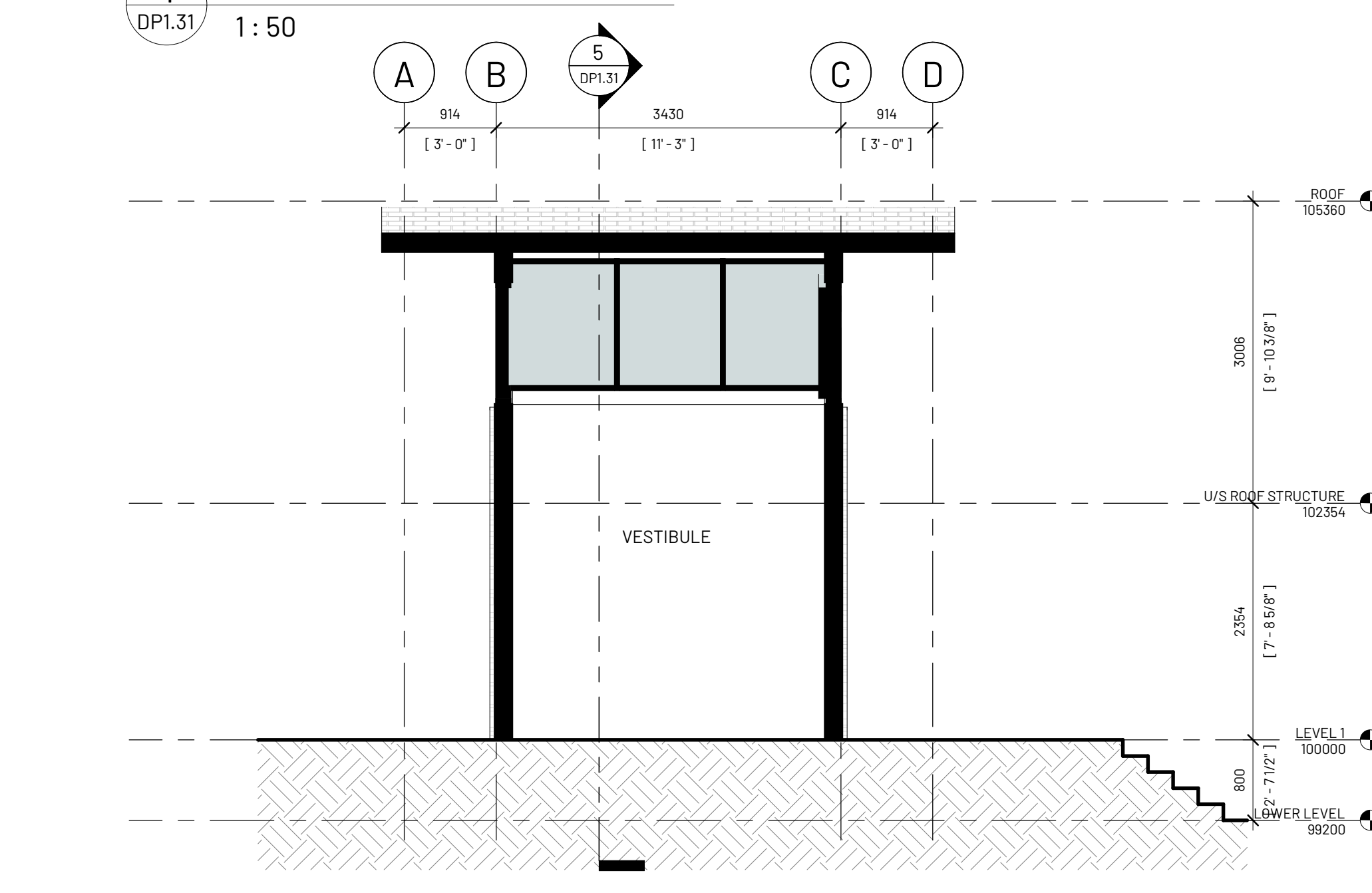
5 BUILDING SECTION 1
DP1.31 1:50



2 SIDE ELEVATION
DP1.31 1:50



4 SIDE ELEVATION
DP1.31 1:50



6 BUILDING SECTION 2
DP1.31 1:50

MATERIAL LEGEND	
03C	CEMENTITIOUS BOARD & BATTEN HARDIE TRUEGRAIN WEST COAST GREY
05	TIMBERSTONE BLACK RUNDLE SHADOWLEDGE STONE
06	FIR WOOD ACCENTS DARK WALNUT STAIN
07	METAL SIDING SOFFIT BLACK
07	CEMENTITIOUS FASCIA TRIM CHARCOAL
13	METAL RAILING & POSTS W/ GLASS INSERTS, RAILING COLOUR BLACK, SURFACE MOUNTED 2m HEIGHT FROM ADJACENT SURFACE
18	ASPHALT SHINGLE DARK GREY
12	STOREFRONT TRIPLE GLAZED ALUM. CLAD VINYL CURTAIN WALL - BLACK FRAME, CLEAR GLAZING
20	INSULATED METAL DOOR C/W MATCHING TRIM BLACK



Stewart Creek, Canmore AB

issued/ revision schedule

no.	description	date
1	ISSUED FOR REVIEW	2025-03-31
2	DP AMENDMENT	2025-04-25

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checked	project no.
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VIEW 1



VIEW 2



VIEW 3

NOTE: SURROUNDING LANDSCAPE IS OBSCURED FOR VISUALIZATION PURPOSES - REFER TO LANDSCAPE PLANS

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RENDERINGS

DP1.32

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PERMIT _____ STAMP _____

NOTES
1. All elevations referenced to 1300m Geodetic Datum.

LEGEND

	Existing/Proposed hydrant
	Existing/Proposed valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing/Proposed 5A manhole
	Existing/Proposed 1S manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
	M.F. 000.00 Main floor elevation
	T.F. 000.00 Top of footing elevation
	000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT PL20230350

REVISIONS

No.	DATE	DESCRIPTION	BY
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2			
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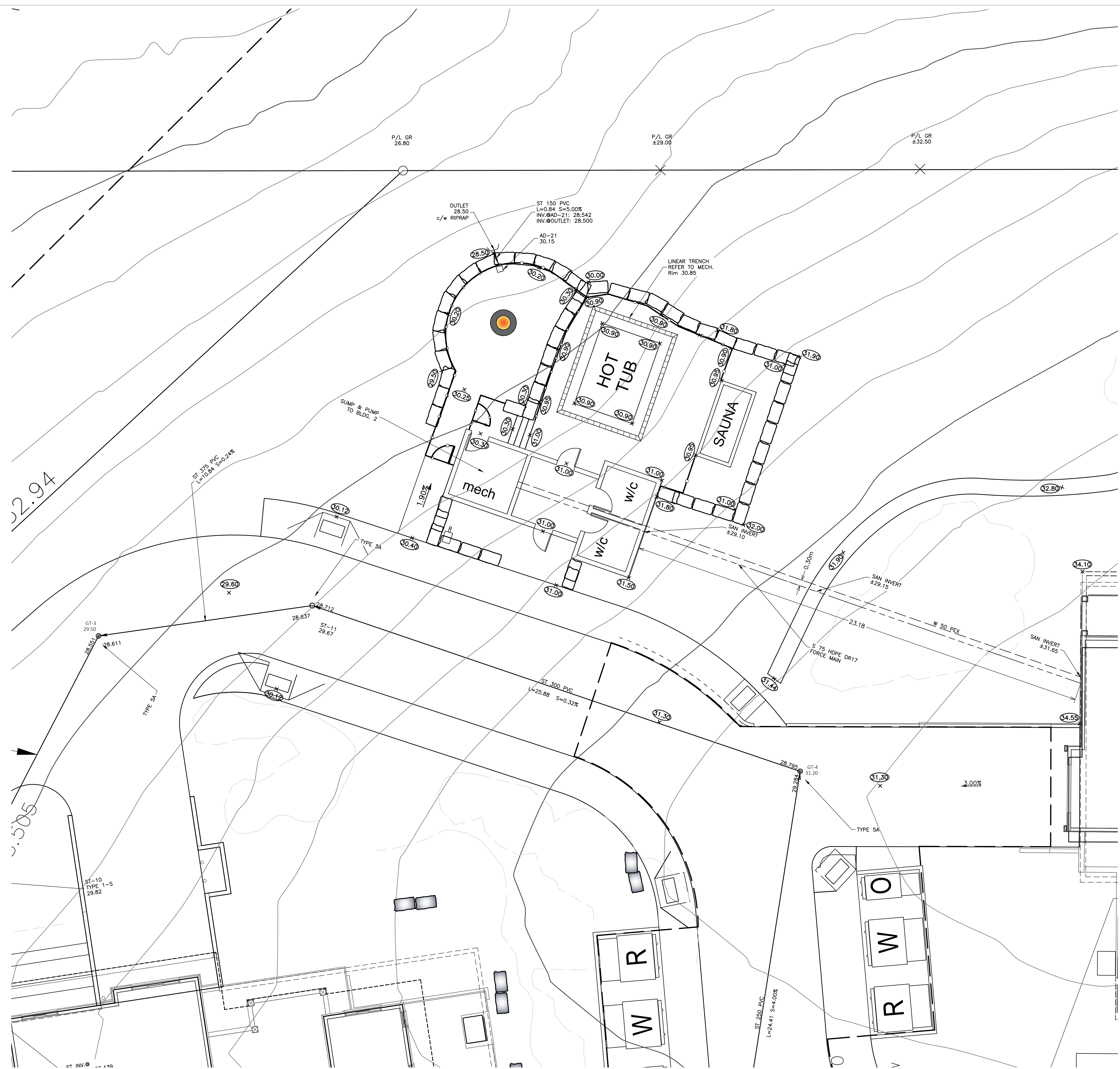
No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION	25Mar25	RDC
2	FOR TENDER		
1	DEVELOPMENT PERMIT		

CLIENT
LOGEL HOMES

PROJECT
ALTITUDE AT THREE SISTERS MOUNTAIN VILLAGE CONDOMINIUMS & TOWNHOMES -- 250 UNITS STEWART CREEK, CANMORE

TITLE
AMENITY DETAIL GRADING/SERVICING

DESIGN BY: D.V.	SCALE: 1:100	JOB NUMBER: 21-143
DRAWN BY: RDC	REV NO.: -	DRAWING NUMBER: SP2C
CHECKED BY: -	DATE: 25-Apr-25	



MUNICIPAL ADDRESS
Stewart Creek
Canmore AB

LEGAL DESCRIPTION
LOT 6, BLOCK 4
PLAN _____ NE 1/4
SEC. 15-24-10-W5M

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PERMIT _____ STAMP _____

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	M.F. 000.00 Main floor elevation
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No.	DATE	DESCRIPTION	BY
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3		FOR CONSTRUCTION	25Mar25 RDC
2		FOR TENDER	
1		DEVELOPMENT PERMIT	
No.		DRAWING STATUS	DATE APP.

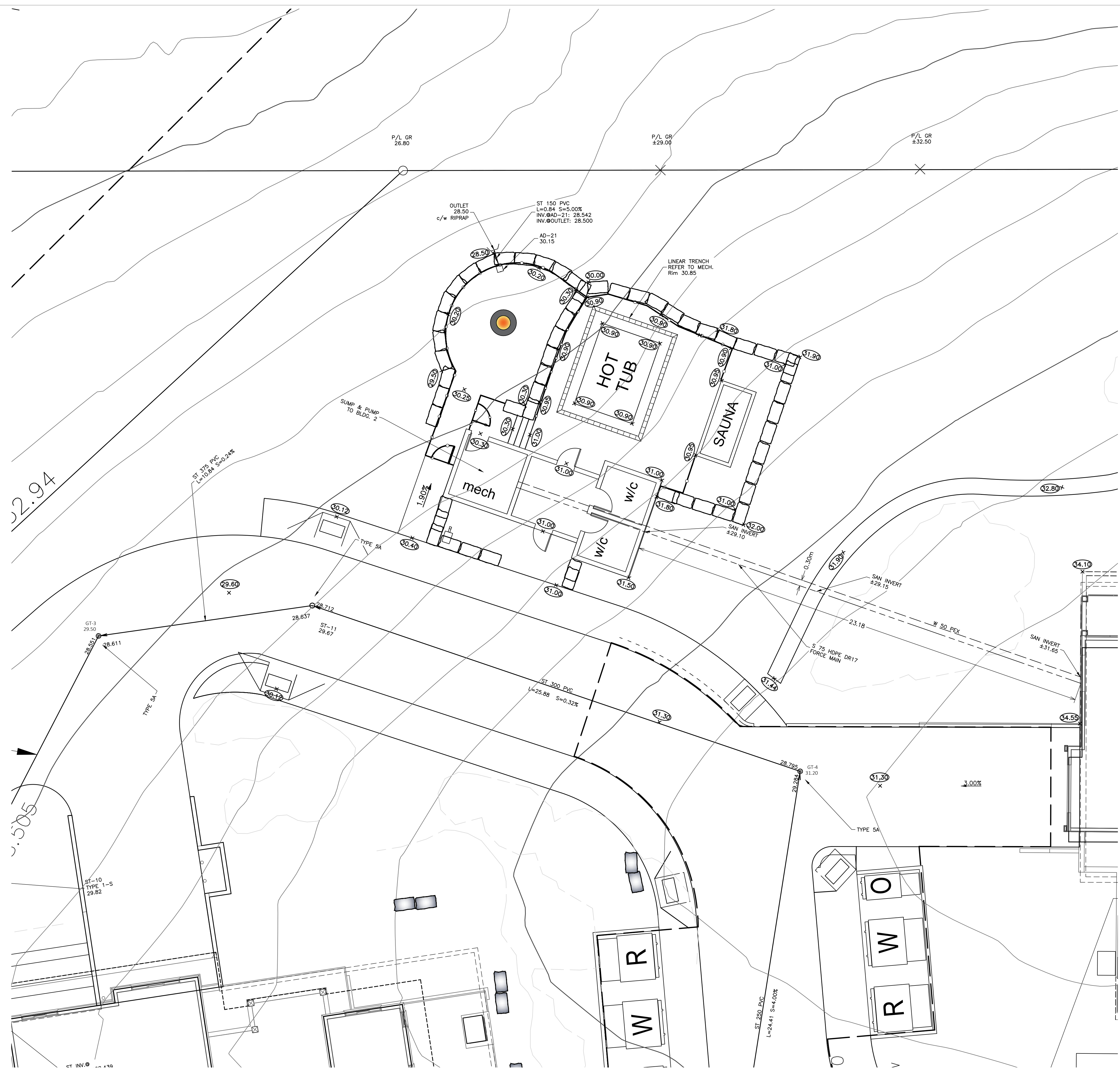
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PROJECT
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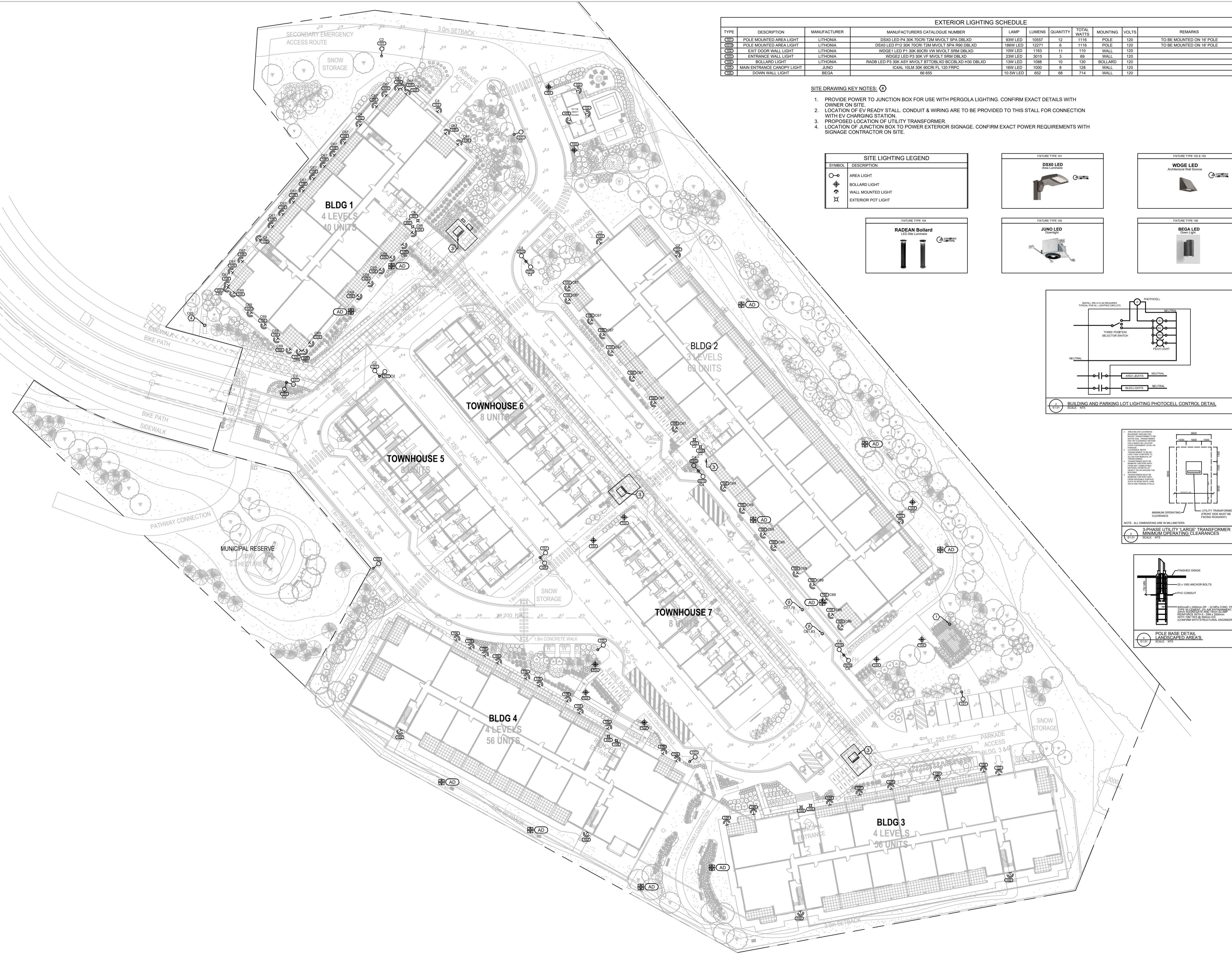
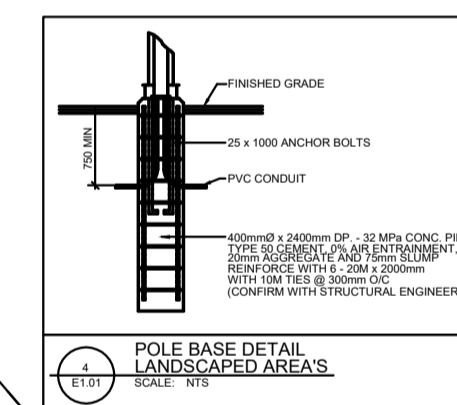
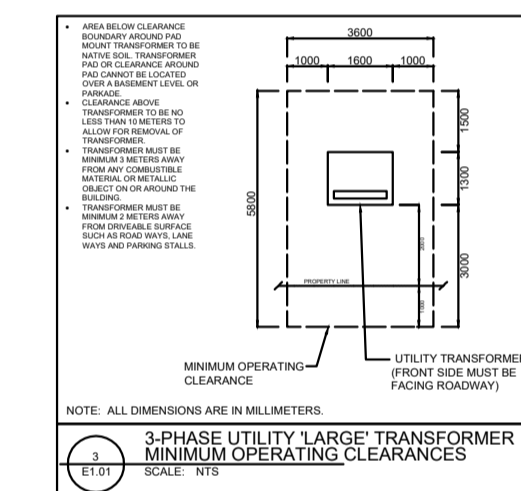
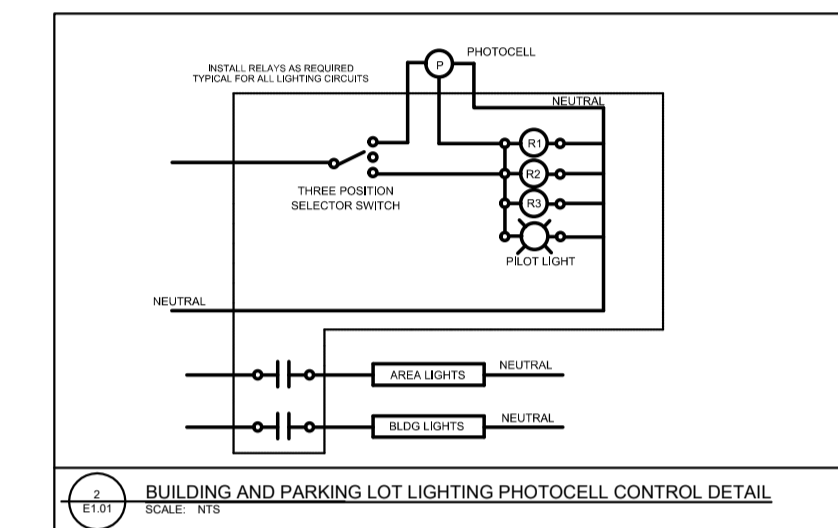
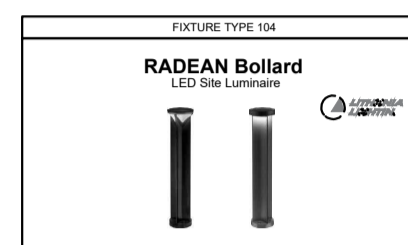
ALTITUDE AT THREE
SISTERS
ALL BUILDINGS
CANMORE, AB

EXTERIOR LIGHTING SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	MANUFACTURER'S CATALOGUE NUMBER	LAMP	LUMENS	QUANTITY	TOTAL WATTS	MOUNTING	VOLTS	REMARKS
010	POLE MOUNTED AREA LIGHT	LITHONIA	DSX0 LED P4 30K 70CRI T2M MVOLT SPA DBLXD	93W LED	10557	12	1116	POLE	120	TO BE MOUNTED ON 16' POLE
011	POLE MOUNTED AREA LIGHT	LITHONIA	DSX0 LED P12 30K 70CRI T2M MVOLT SPA R50 DBLXD	180W LED	12271	6	1116	POLE	120	TO BE MOUNTED ON 16' POLE
012	EXIT DOOR WALL LIGHT	LITHONIA	WIDGE LED P1 30K 80CRI VV MVOLT SRM DBLXD	10W LED	1163	11	110	WALL	120	
013	ENTRANCE WALL LIGHT	LITHONIA	WIDGE LED P3 30K VP MVOLT SRM DBLXD	23W LED	3115	3	69	WALL	120	
014	BOLLARD LIGHT	LITHONIA	RA08 LED P3 30K ASY MVOLT BTB0BLXD BCCLXD H30 DBLXD	13W LED	1088	10	130	BOLLARD	120	
015	MAIN ENTRANCE CANOPY LIGHT	JUNO	IC4AL 10LM 30K 80CRI FL 120 FRPC	18W LED	1000	8	128	WALL	120	
016	DOWN WALL LIGHT	BEGA	68 655	10.5W LED	652	68	714	WALL	120	

SITE DRAWING KEY NOTES:

1. PROVIDE POWER TO JUNCTION BOX FOR USE WITH PERGOLA LIGHTING. CONFIRM EXACT DETAILS WITH OWNER ON SITE.
2. LOCATION OF EV READY STALL. CONDUIT & WIRING ARE TO BE PROVIDED TO THIS STALL FOR CONNECTION WITH EV CHARGING STATION.
3. PROPOSED LOCATION OF UTILITY TRANSFORMER.
4. LOCATION OF JUNCTION BOX TO POWER EXTERIOR SIGNAGE. CONFIRM EXACT POWER REQUIREMENTS WITH SIGNAGE CONTRACTOR ON SITE.

SITE LIGHTING LEGEND	
SYMBOL	DESCRIPTION
○	AREA LIGHT
⊕	BOLLARD LIGHT
⊖	WALL MOUNTED LIGHT
⊗	EXTERIOR POT LIGHT



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A	SITE LIGHTING DP	2024-04-25

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**SITE PLAN
SITE LIGHTING LAYOUT**

sheet

E1.01

drawn	scale
TK/OC/GP	As indicated
checked	project no.
JP/GU/KV	22.108

SITE LEGEND:

FEATURES	
	FESCUE SOD
	NATIVE SEED MIX #4
	BROOM FINISH CONCRETE
	WOOD MULCH
	LIMESTONE CRUSH PATHWAY
	40mm RUNDLE ROCK
	LIMESTONE BOULDERS - WALLS SEE CIVIL FOR HEIGHTS
	1200MM HIGH GLASS FENCE
	1800MM HIGH GLASS FENCE
	1200MM HIGH CHAIN LINK FENCE
	ANDIRONDACK CHAIR
	FIRE PIT

PLANT LEGEND:

	Large Trembling Aspen
	Small White Spruce
	Large White Spruce
	Creeping Juniper
	Prickly Rose
	Mountain Rhododendrum
	Snowbelle Mockorange
	Gold Drop Potentilla
	Karl Foerster Feather Reed Grass
	Little Bluestem Grass

PLANT LIST:

CONIFEROUS TREES			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
01	Picea glauca	White Spruce	4.0m ht. B&B, 1200mm root ball dia.
02	Picea glauca	White Spruce	3.0m ht. B&B, 800mm root ball dia.

DECIDUOUS TREES			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
04	Populus tremuloides	Trembling Aspen - Large	70mm cal. (B&B), min 900mm wide x 750mm depth root ball

CONIFEROUS SHRUBS			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
14	Juniperus horizontalis	Creeping Juniper	Min. 600 spr. root ball dia. 350mm, #5 container size

DECIDUOUS SHRUBS			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
18	Philadelphus 'Snowbelle'	Snowbelle Mockorange	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont.
41	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont.
18	Rhododendrum albatrifurum	Mountain Rhododendrum	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont.
12	Rosa acicularis	Prickly Rose	Min. 600mm ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont.

ORNAMENTAL GRASSES			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
08	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	Min. 200mm ht., #2 cont.
27	Schizachyrium scoparium	Little Bluestem Grass	Min. 200mm ht., #2 cont.

GENERAL NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
- WARRANTY ON ALL LANDSCAPE TO BE TWO YEARS FROM DATE OF ACCEPTANCE.
- CONTRACTOR TO CO-ORDINATE WORK WITH ALL OTHER CONTRACTORS ON SITE.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AT TIME OF CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES PRIOR TO ANY WORK.
- DURING CONSTRUCTION, ANY DAMAGE OCCURRING TO PUBLIC AND PRIVATE LANDS, RESULTING FROM ENCROACHMENT WILL BE MADE GOOD AT TIME OF CONSTRUCTION.
- ALL EXISTING TREES WITHIN 6.0m OF CONSTRUCTION TO BE PROTECTED WITH A TREE PROTECTION FENCE ALONG THE DRIFLINE.
- NEW TREE LOCATIONS TO BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
- TREES SHALL BE WATERED IN FOR THE WINTER TO ENSURE THAT THE ROOTS ARE FROZEN. TREES SHALL BE REGULARLY CHECKED IN WINTER TO ENSURE THAT ROOTS ARE STILL FROZEN. IF THE WINTER WEATHER VARIES TO PLUS TEMPERATURES WATERING OF THE TREES SHALL BE DONE BY WATER TRUCK TO ENSURE HEALTHY PLANT MATERIAL.
- CONTRACTOR TO ENSURE ADEQUATE SUPPORT FOR ALL PLANT MATERIAL NOTED ON DRAWINGS.
- ANY SUBSTITUTIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE SUBSTITUTIONS BEING MADE.
- ANY DAMAGE TO EXISTING HARD AND SOFT SURFACING TO BE MADE GOOD BY THE CONTRACTOR.
- ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
- TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
- ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
- ALL SITE GRADES SHALL MATCH EXISTING GRADES OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE. SEE CIVIL PLAN FOR GRADING, CURB AND SERVICING INFORMATION.
- THE CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ANY AND ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATES WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
- ANY DISCREPANCIES BETWEEN SITE CONDITION AND THOSE ON THE DRAWING TO BE REPORTED IMMEDIATELY TO THE CONSULTANT AT TIME OF CONSTRUCTION.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT TOWN OF CANMORE STANDARDS AND GUIDELINES (CURRENT EDITION).
- THE OWNER'S REPRESENTATIVE WILL INSPECT PLANTS AT THE FOLLOWING STAGES: AT TIME OF DELIVERY PRIOR TO INSTALLATION, INSTALLED PLANTS BEFORE COMMENCEMENT OF MAINTENANCE PERIOD AND AT THE END OF MAINTENANCE PERIOD. NOTIFY OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF EACH REQUIRED INSPECTION. CONTRACTOR SHALL ENSURE REQUIRED PLANTS WILL BE AVAILABLE OR MEET SPECIFICATIONS BEFORE ARRANGING INSPECTION FOR SELECTION AND TAGGING OF PLANTS.
- ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM. SPECIMEN GRADE SINGLE STEM STOCK - UNLESS NOTED OTHERWISE, PLANTS WILL BE REJECTED IF: SOIL BALLS HAVE BEEN CRACKED OR BROKEN BEFORE OR DURING PLANTING OR WHEN BURLAP ROPES REQUIRED IN CONNECTION WITH THEIR TRANSPORTING HAVE BEEN REMOVED. DO NOT USE PLANTS DAMAGED DURING CONTACT WITH EQUIPMENT, OR PLANTS THAT ARE WILTED, WIND BURNED OR STRESSED. CONTRACTOR TO REPLACE DAMAGED OR REJECTED PLANTS AT NO ADDITIONAL COST TO OWNER.
- STAKE OUT LOCATIONS OF TREES, SHRUBS AND PLANTING BEDS. LOCATIONS OF ALL PLANTS SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE ON SITE BEFORE PLANTING. PLANTS INSTALLED WITHOUT REVIEW AND APPROVAL MAY REQUIRE TRANSPLANTING OR RELOCATION AS DIRECTED BY OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY THAT ALL MINIMUM CLEARANCES ARE PROVIDED BETWEEN PROPOSED TREES AND UNDERGROUND AND/OR OVERHEAD UTILITIES AS DEFINED BY THE LOCAL PARKS AND PLANNING DEPARTMENT.
- PART OF PLANT MATERIAL INSTALLATION SHALL INCLUDE SUFFICIENT PROTECTION TO PREVENT BARK AND TREE DAMAGE DUE TO FORAGING ANIMALS AND ANCHORING SYSTEM TO PREVENT ROOT BREAKAGE DUE TO STRONG WINDS. LANDSCAPE ARCHITECT NOT RESPONSIBLE FOR ANY DAMAGES THAT INCUR DUE TO IMPROPER INSTALLATION.
- ALL DEVELOPMENT AND CONSTRUCTION ACTIVITIES WITHIN 5 METERS OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST.
- ALL PRUNING OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

LANDSCAPE REMEDIATION

- ANY TURF AREAS DISTURBED DURING THE CONSTRUCTION PROCESS ARE TO BE AMENDED WITH A MINIMUM OF 150 MM DEPTH TOPSOIL AND SOD, AS PER THE TOWN OF CANMORE DESIGN STANDARDS.
- ANY PLANTING BEDS DISTURBED DURING CONSTRUCTION ARE TO BE AMENDED WITH A MINIMUM OF 450 MM DEPTH TOPSOIL AND A MINIMUM OF 150 MM DEPTH WOOD CHIP MULCH, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
- ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION IS TO BE REMOVED, DISPOSED OF, AND REPLACED BY THE CONTRACTOR. ANY REPLACEMENT PLANT MATERIAL MUST BE THE SAME SPECIES OF THE REMOVED ITEM.

EXISTING LANDSCAPE

- LOCATIONS AND SIZES OF EXISTING PLANT MATERIAL ARE APPROXIMATE.

GRADING NOTES:

- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING INFORMATION.

SOD:

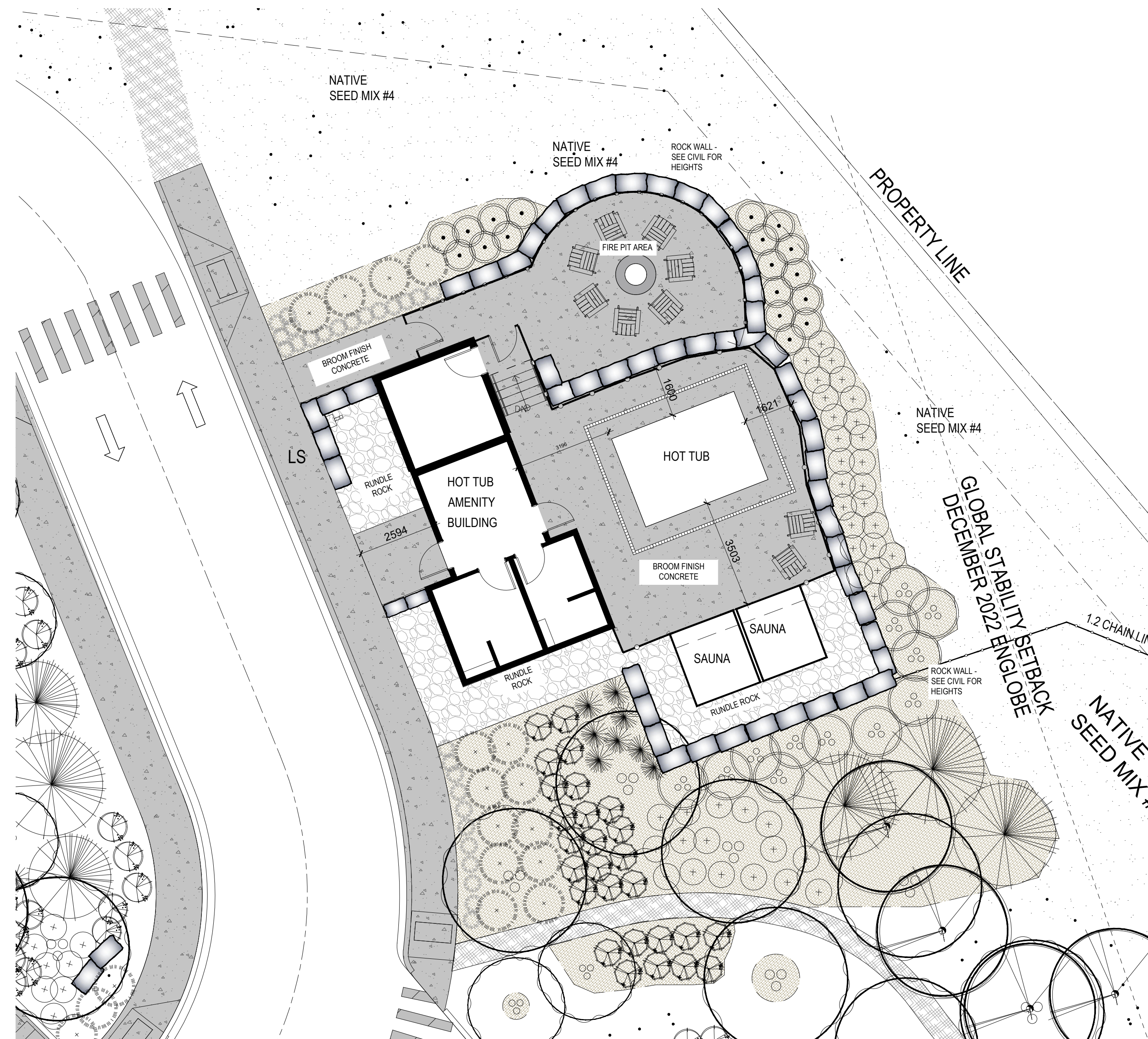
- CERTIFIED NO. 1 CULTIVATED TURF FESCUE SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM THE TIME OF CUTTING. SOD SHOWING SIGNS OF DETERIORATION DUE TO AGE OR LACK OF MOISTURE WILL BE REJECTED. SOD MUST BE FREE OF STONES, BURNS, DRY OR BARE SPOTS, TEARS AND DELIVERED MOIST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS.

SEED:

- NATIVE SEED MIX 4
NON-MOWED NATIVE GRASS SEED MIXTURE FOR SLOPES, NATURAL AREAS AND NON-MAINTAINED AREAS:
25% Idaho Fescue / Festuca idahoensis
15% Festuca campestris / Festuca campestris
10% Western Wheatgrass / Pascopyron (Agropyron) smithii and/or Northern
Wheatgrass / Elymus lanceolatus (Agropyron dasystachyum)
15% June Grass / Koeleria macrantha
15% Alpine Blue Grass / Poa alpine
10% Manhattan III Perennial Ryegrass (nurse crop) / Lolium perenne
10% Optional species use one or a number of the following species depending on site characteristics: Alkali
Bluestem / Poa ampla, Parry's Oat Grass / Danthonia parryi, Western Porcupine Grass / Stipa curtipeta,
Mountain Brome / Bromus carinatus, Alpine Timothy / Phleum alpinum, Tufted Hair Grass / Deschampsia
caespitosa

IRRIGATION SYSTEMS:

- THE IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION. CONTRACTOR SHALL SUPPLY AND INSTALL A FULLY FUNCTIONAL AUTOMATIC PROGRAMMABLE IRRIGATION SYSTEM. IRRIGATION SYSTEMS WILL BE DESIGNED IN SUCH A WAY THAT ALL AREAS, INCLUDING LAWNS, BEDS, PLANTERS, GARDENS, AND GREEN ROOFS, WHETHER EXISTING OR NEW, ARE WATERED IN THE MOST EFFICIENT MANNER WHILE PROVIDING FULL COVERAGE. ONLY LANDSCAPE AREAS ARE TO RECEIVE WATER.
- SYSTEM CONFIGURATION WILL VARY DEPENDING ON PLANT VARIETY AND LANDSCAPE AREA. ANY OVERLAPPING OR UNNECESSARY SPRAY PATTERNS ARE TO BE KEPT TO A MINIMUM. SYSTEM INSPECTIONS AND NOZZLE ADJUSTMENTS ARE TO BE MADE AFTER THE INSTALL IS COMPLETE AND AT THE START OF EVERY GROWING SEASON. NOZZLES SHOULD BE REPLACED EVERY FIVE YEARS. WATERING TIMES ARE TO BE SET FOR THE EARLY MORNING TO REDUCE EVAPORATION.
- ONCE ESTABLISHED, ONE INCH OF WATER PER WEEK SHALL BE IRRIGATED ON ALL LAWN AREAS, TREES, SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES WILL BE WATERED ACCORDING TO THEIR NEEDS. DRIPS SYSTEMS ARE RECOMMENDED FOR TREES. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO PLANTS CAUSED BY OVER OR UNDER WATERING.
- IRRIGATION PLANS SHALL BE PREPARED BY A QUALIFIED IRRIGATION CONSULTANT AND INSTALLED BY A PROFESSIONALLY CERTIFIED IRRIGATION INSTALLER. CONTRACTOR SHALL PROVIDE MANUALS AND TOOLS REQUIRED FOR SYSTEM OPERATION TO THE OWNER UPON SYSTEM COMPLETION. AS-BUILT DRAWING SHALL BE PROVIDED BY THE CONTRACTOR TO THE OWNER.
- ALL UNDERGROUND IRRIGATION SYSTEMS ARE TO BE EQUIPPED WITH A HIGH FLOW SHUTOFF VALVE AND BACK FLOW PREVENTER. ALL DOWN SPOUTS ARE TO BE DIRECTED AWAY FROM FOUNDATIONS AND INTO SHRUB BEDS OR TREE WELLS (WHERE PRACTICAL.)



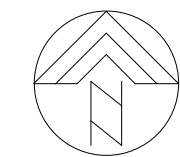
LANDSCAPE PLAN - HOT TUB AMENITY AREA

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HOT TUB AREA
Stewart Creek, Canmore



Issued/ Revision Schedule

no.	description	date
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-25
2		
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Drawing Title

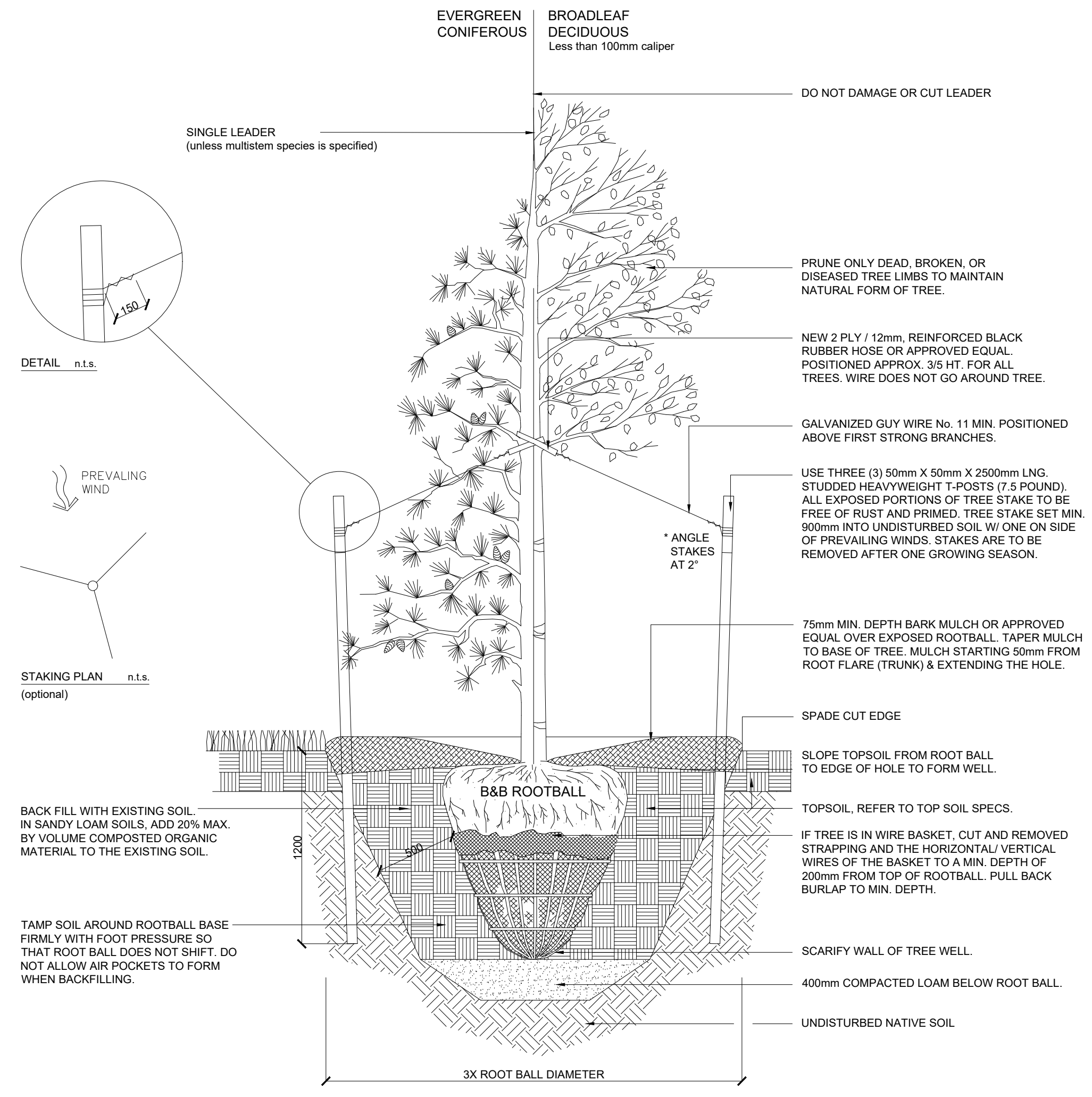
**LANDSCAPE PLAN -
HOT TUB AMENITY AREA**

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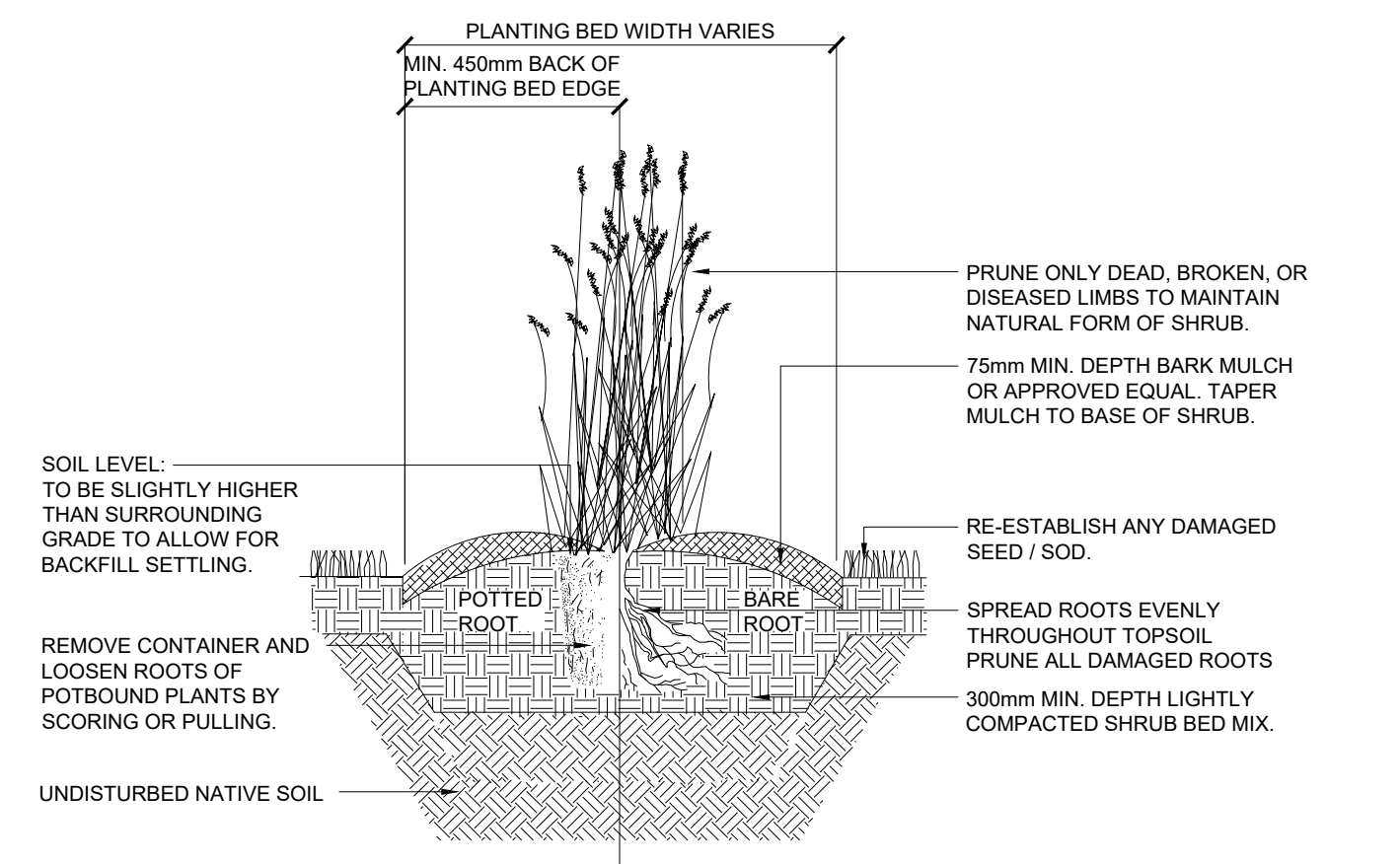
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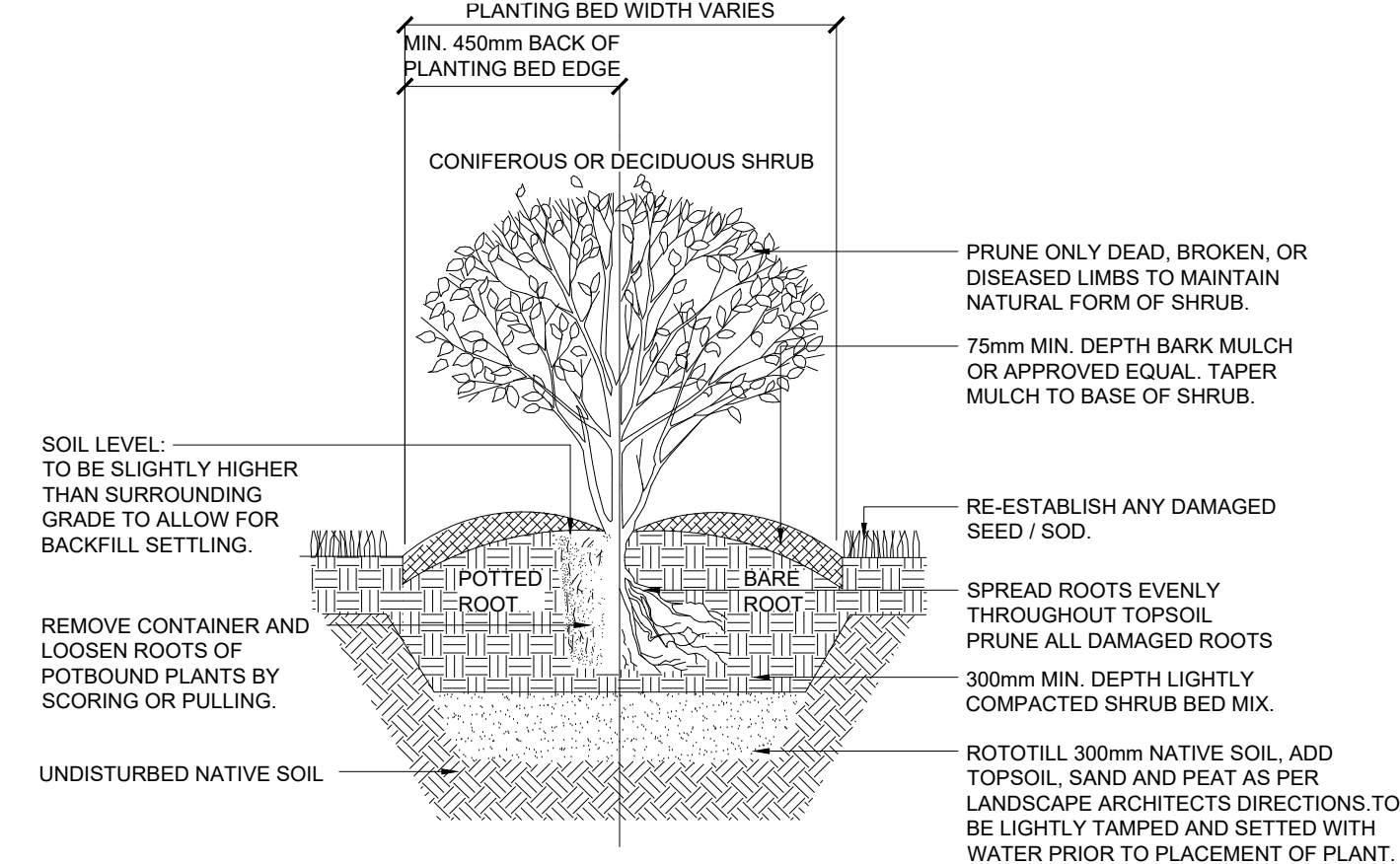
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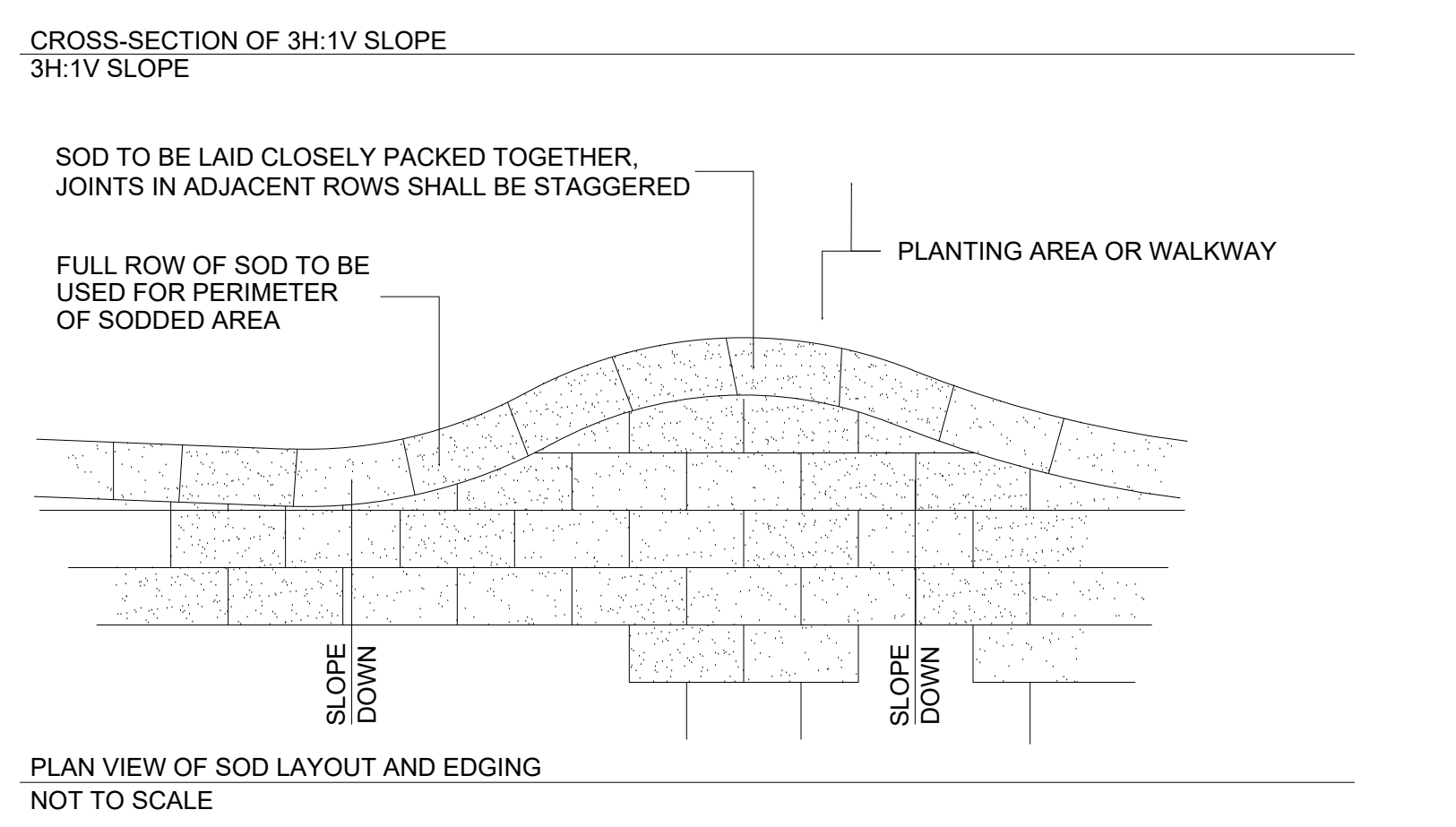
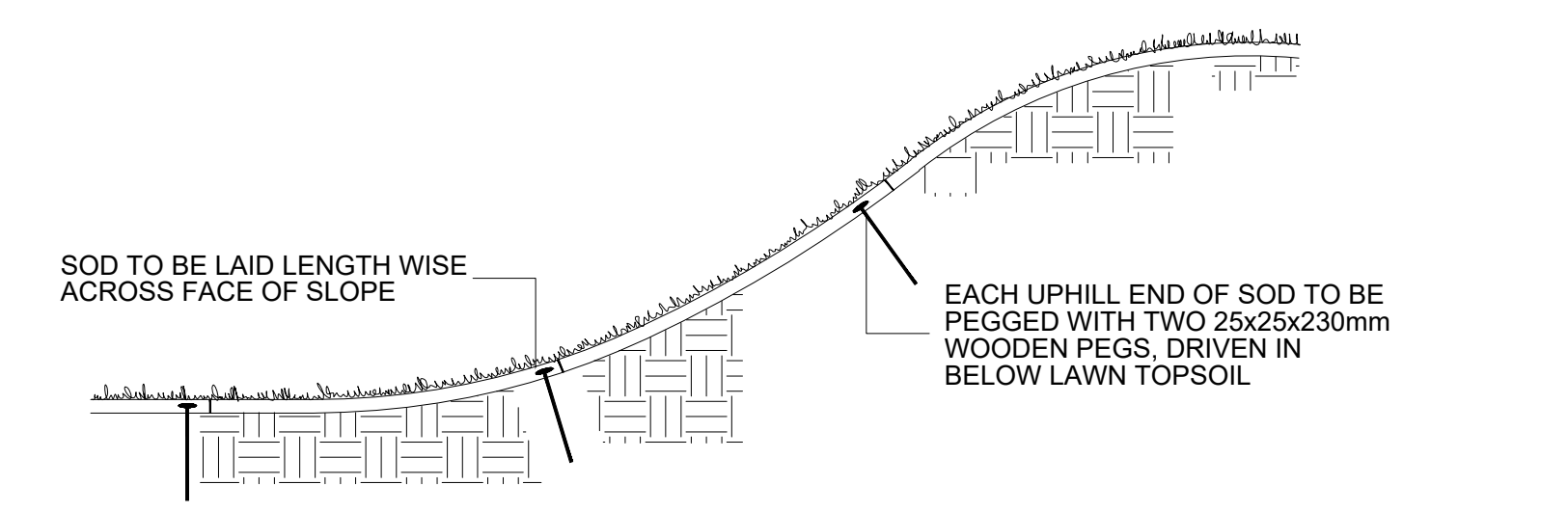
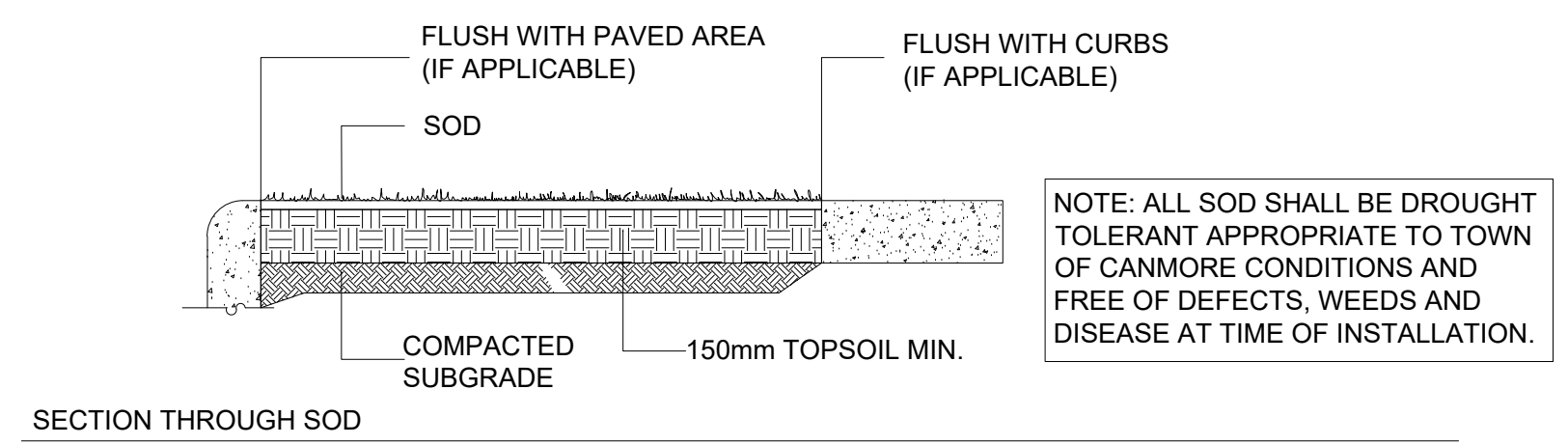
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TREE PLANTING DETAIL
1 : 25



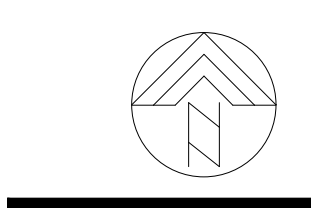
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L2.00
PERENNIAL PLANTING DETAIL
1 : 25



3
L2.00
SHRUB PLANTING DETAIL
1 : 25



4
L2.00
SOD INSTALLATION DETAIL
1 : 25



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no.	description	date
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-25
2		
3		
4		

Seal

NOT FOR CONSTRUCTION

Permit

Consultant



310, 625 11 Ave SW
Calgary, AB T2R 0E1
T. 403.264.8700

200, 11460 Jasper Ave NW
Edmonton, AB T5K 0M1
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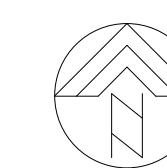
Drawing Title
LANDSCAPE DETAILS

L2.00 Sheet

Scale
1:25

Project No.
22.108

HOT TUB AREA
Stewart Creek, Canmore



Issued/ Revision Schedule

no.	description	date
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-25
2		
3		
4		

Seal

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Drawing Title

LANDSCAPE DETAILS

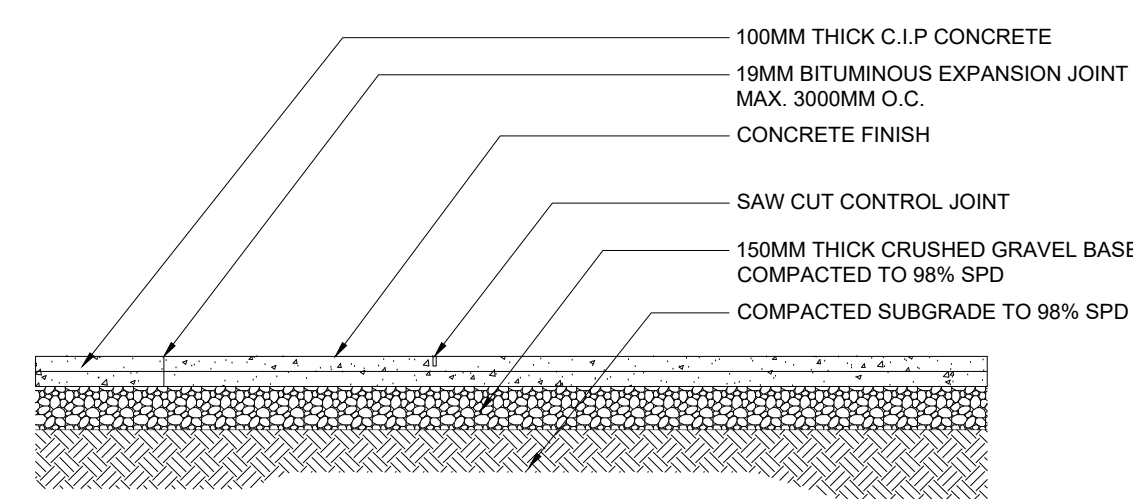
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Sheet

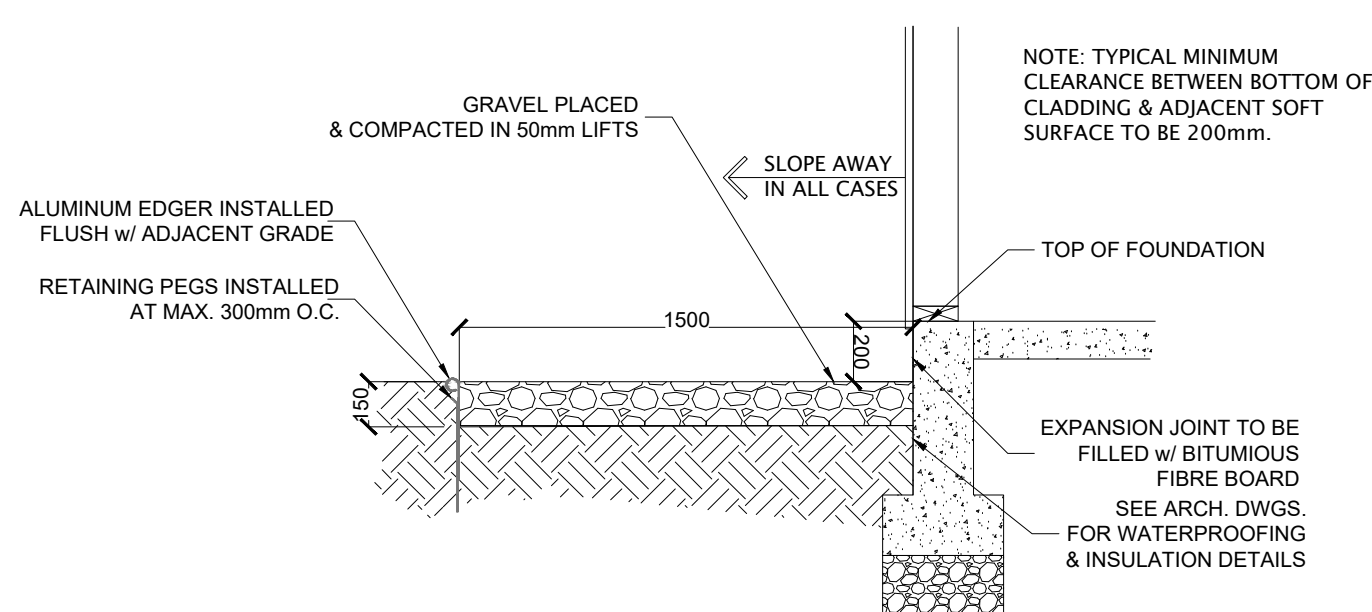
Scale
1:25

Project No.
22.108

- NOTES
1. PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES, INCLUDING REINFORCING, AS PER TOWN OF BANFF STANDARDS
2. ALL CONCRETE TO BE MINIMUM 2% SLOPE TO DRAINS WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED (i.e. SIDEWALKS) PROVIDE 2% CROSS-SLOPE TO LOW SIDE OF SIDEWALK.



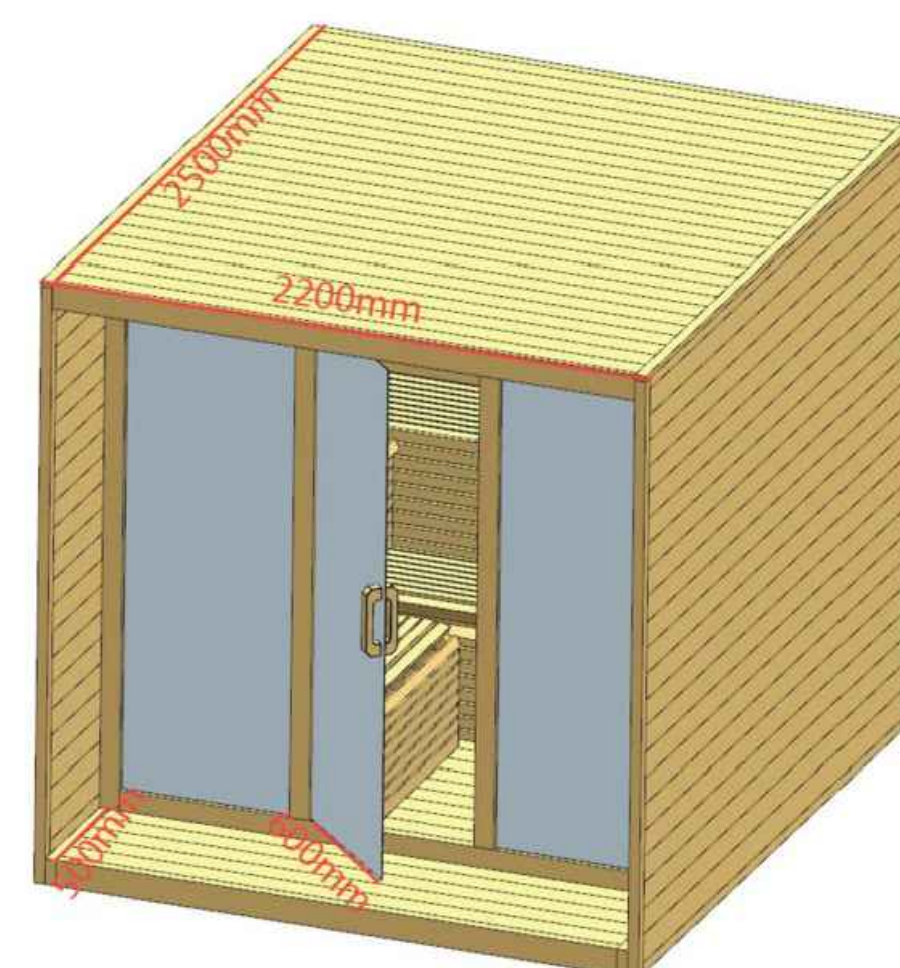
1
L2.01
CONCRETE WALKWAY DETAIL
1 : 25



4
L2.01
FIRESMART RUNDLE ROCK DETAIL
1 : 25



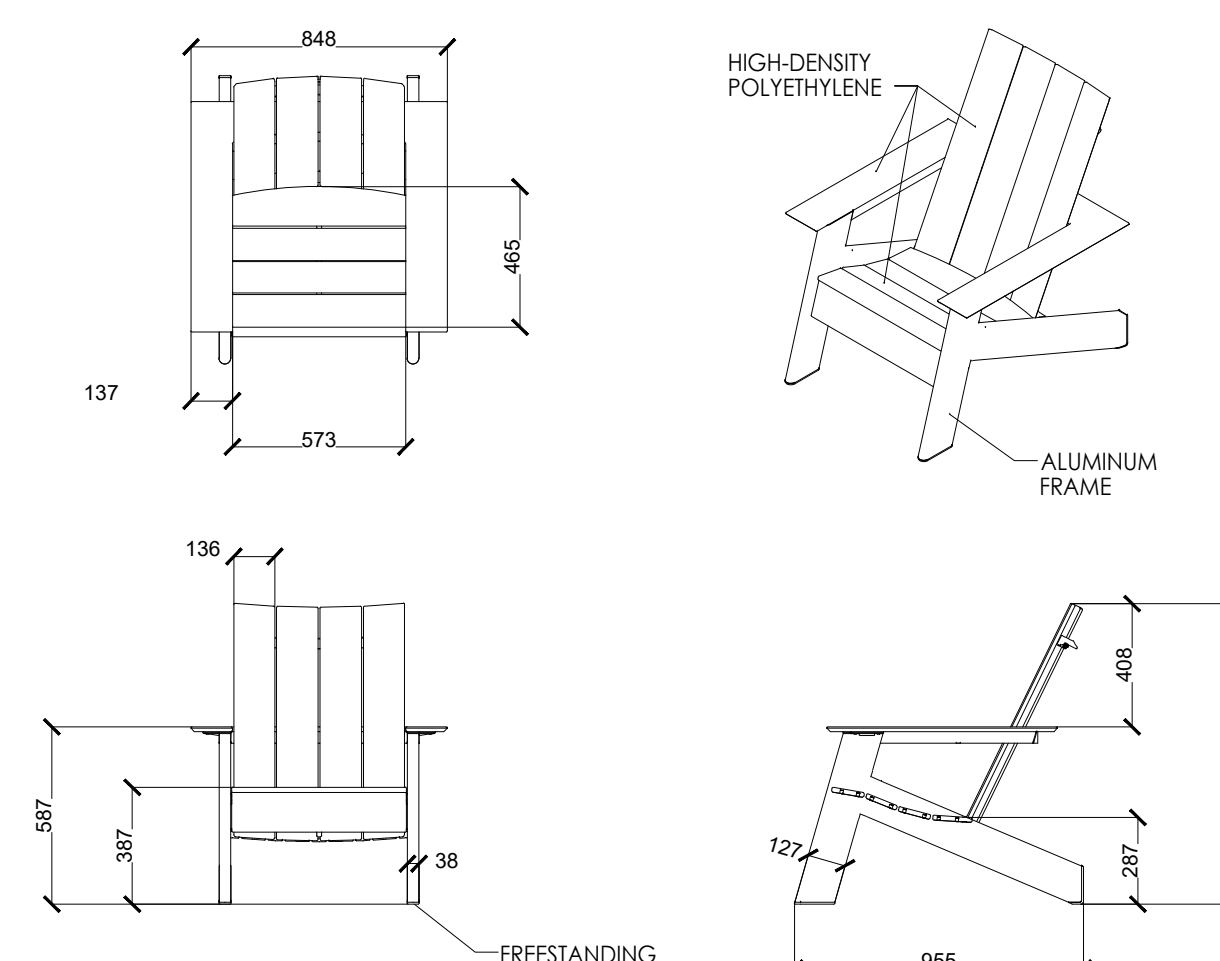
7
L2.01
SAUNA DETAIL
NTS



- NOTES:
1. BACKCOUNTRY RECREATION MODERN SAUNA - NELIO OR APPROVED EQUAL
2. PROVIDE TWO SAUNAS AS PER PLAN
3. INSTALL AS PER MANUFACTURES SPECIFICATIONS

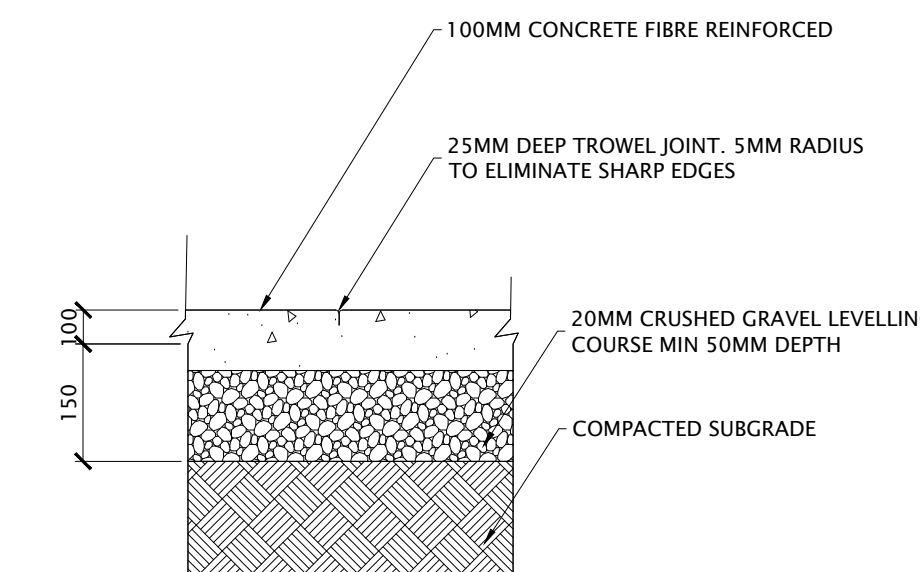
Modern Sauna - NELIO	
Model	NELIO
Number of Bather	4-6
Exterior Materials	Scandinavian Thermowood @ 40mm
Interior Materials	Scandinavian Thermowood @ 40mm
Interior Dimensions	83.46"L*79.53"W*74.8"H (2120mmL*2020mmW*1900mmH)
Exterior Dimensions	98.43"L*86.61"W*86.61H (2500mmL*2200mmW*2200mmH)

2
L2.01
CONTROL JOINT DETAIL
1 : 12.5

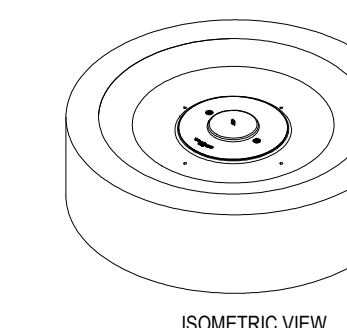
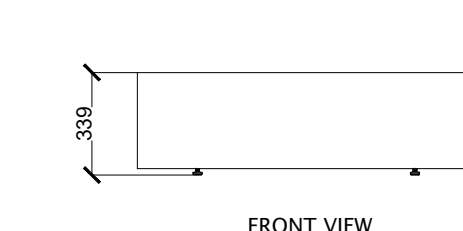
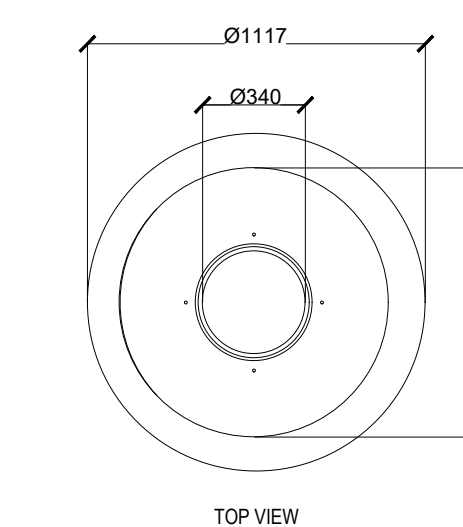


- NOTES:
1. LANDSCAPE FORMS AMERICANA CHAIR OR APPROVED EQUAL
2. FREESTANDING CHAIR
3. INSTALL AS PER MANUFACTURES SPECIFICATIONS

5
L2.01
ADIRONDACK CHAIR DETAIL
1 : 25



3
L2.01
TROWEL JOINT DETAIL
1 : 12.5



BROWN JORDAN KOVE FIRE TABLE
MODEL NO. BJF 1 KOV.NA.G
COLOUR: NATURAL
OR SIMILAR APPROVED

- NOTES:
1. CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO COORDINATE WITH MECHANICAL FOR CONNECTION LOCATIONS

6
L2.01
FIRE PIT DETAIL
1 : 25

**ATTACHMENT 4: PL20230350 Request for Decision (May 22, 2024) and Schedule A –
Conditions of Approval**

CANMORE PLANNING COMMISSION

STAFF REPORT



DATE:	May 22, 2024
PROPOSED DEVELOPMENT:	239 UNIT RESIDENTIAL DEVELOPMENT – APARTMENT (4 BUILDINGS AT 40, 63, 56 AND 56 UNITS), TOWNHOUSE (3 BUILDINGS AT 8 UNITS EACH)
APPLICATION NUMBER:	PL20230350
LEGAL DESCRIPTION:	LOT 6, BLOCK 24, PLAN 2410460
CIVIC ADDRESS:	500 CASCADE DRIVE
CURRENT USE(S):	VACANT LAND
APPLICANT:	METAFOR ARCHITECTURE
REFERENCED DOCUMENTS:	LAND USE BYLAW 2018-22: <ul style="list-style-type: none">• SECTION 3.11 Residential Comprehensive Multiple Unit, Stewart Creek District• SECTION 11 Community Architectural & Urban Design Standards• SECTION 12 Density Bonus Regulation

EXECUTIVE SUMMARY

The application proposes a 239-unit residential development in the form of four Apartment buildings and three Townhouse buildings. The subject site is located at the end of Cascade Drive, adjacent to the Gateway site in Three Sisters. Two variances (building height and eaveline height) to the Land Use Bylaw as well as the application of a revised density bonusing ratio are being requested. Administration supports the proposed application and variances, given its substantial community benefit through the provision of entry level housing and PAH units.

BACKGROUND

Direction from TSMV Stewart Creek Area Structure Plan:

Plan Goal 3.1

Allow for the development of a comprehensively planned residential community that provides a range of housing types and tenures.

5.0 Land Use Objectives and Policies

5.4 Provide a Range of Residential Housing Options

5.4.2 c) The average overall net density for residential development areas shall be in the range of 25 to 49 units per hectare (10 to 20 units per acre). The Town, at its sole discretion, may agree with developer requests to vary from this density range (either to decrease or increase) as needed to accommodate policies 5.4.2(h), (i) and (j), or the need for employee housing under policy 5.2.2.

5.4.2 h) Medium and high density housing forms shall not be located adjacent to the Stewart Wildlife Corridor.

EXISTING SITE

The subject site at 500 Cascade Drive is currently vacant. The site is located within and governed by the R3 SC1 Residential Comprehensive Multiple Unit, Stewart Creek District. The proposed uses of the site, Apartment Building and Townhouse, are listed as permitted land uses within the district. The site is surrounded by vegetation to the north, east, and south, with future commercial developments being anticipated to the west and southwest. Access to the site is gained via Cascade Drive, a road that transects the Gateway subdivision area from the Three Sisters Boulevard turbo-roundabout that is currently under construction. A wildlife corridor is located east of the site, but appropriate setbacks to the corridor are maintained.

Please see Attachment I for an aerial view of the adjacent uses.

BYLAW CONFORMANCE/VARIANCE DISCUSSION

I. Issue #1 Density Bonusing

The applicant proposes to apply Section 12 of the LUB, which is the Density Bonusing section. This section allows for the addition of units to the property beyond the maximum density provisions of the land use district, in exchange for the addition of Perpetual Affordable Housing (PAH) units. Any units provided through the bonusing aspect is not counted towards the maximum allowable density, but instead is counted as a bonus. This allows flexibility to a developer to add density by implementing a ratio of market units to PAH units. The ratio within Section 12 states:

12.2.0.9 For each PAH unit provided on-site, there will be three (3) bonus/additional market units permitted on the site.

Further, Section 12 allows for consideration of a different ratio:

12.2.0.10 The Development Authority may accept a different ratio where the applicant can demonstrate that the "bonus" is resulting in a fair benefit to the community through provision of PAH housing.

The applicant is proposing a ratio of 13 additional market units permitted per PAH unit provided on the site. Through the application of this ratio, there will be 52 additional market units on the property. As such, the density would result in 87 units/ha instead of the 67 units/ha permitted within the land use district.

Administration finds that this ratio is acceptable considering the overall community benefit this development will provide. Out of the 239 units proposed, the development will contain 155 entry level housing units, which constitutes 72% of the proposed units on site. As such, the development will not only create additional PAH units (4 units) but will work towards the creation of more affordable and more attainable units within Town. The application also supports sustainability goals through multiple initiatives including by targeting at minimum Built Green Silver certification, the provision of solar panels on Building 4, and the provision of EV charging capabilities for 25% of the residents, with further ability to fit out parking stalls for EV charging in the future.

2. Issue #2 Building Height & Eaveline Height

Section 3.11.3.5 of the LUB stipulates a maximum building height of 12.0m and a maximum eaveline height of 9.0m. The proposed building heights are as follows:

Building Height Variance:

Building 1, 3 & 4 = 15.6m (30%) variance

Building 2 = 13.8m (15%) variance

Building 5, 6 & 7 = 13.0m (9%) variance

Eaveline Height Variance:

Building 1, 3 & 4 = 11.7m (30%) variance

The application proposes a variance to the building and eaveline heights that normally exceed the 20% variance authority of CPC stated in section 1.14.1. However, Section 1.14.3 of the LUB allows CPC to consider variances in excess of the 20% if an extraordinary net benefit to the community can be found pursuant to three criteria:

1.14.3.1 Variances in excess of the limits described in Subsection 1.14.1.1 shall only be considered and may only be granted by the Development Authority where the Development Authority is satisfied that the proposed development provides an extraordinary net benefit to the community pursuant to one or more of the following:

- a. Historic Resource Conservation (Subsection 7.7)*
- b. Density Bonusing providing PAH housing (Section 12)*
- c. Enhanced Green Construction (Section 10)*

Therefore, the Planning Commission may consider a greater variance of up to 30% for building height and eaveline height through Section 1.14.3.1:

12.2.0.1 The Canmore Planning Commission may approve variances beyond those allowed for in Subsection 1.14 when an applicant proposes to provide PAH units in accordance with this Bylaw.

12.2.0.2 The maximum variance granted shall be up to 30% when granted by the Canmore Planning Commission.

Although the proposal constitutes a significant height variance, the proposed heights do not unduly interfere with the use and enjoyment of neighbouring properties. The proposed building site is surrounded by existing vegetation, which is protected through an Environmental Reserve parcel, and the location of a future commercial site. Additionally, the existing residential properties in the area are located at a higher elevation than the subject site (approximately 30m higher), which reduces any potential visual impact that the height variance could have on these properties. Furthermore, the proposed development provides a significant community benefit through the

provision of 155 entry level housing units and four (4) additional PAH units. With regards to enhanced green construction, the buildings are proposed to achieve at minimum Built Green Silver Certification, Building 4 will host solar panels, and 100% of unit owners will be able fit out stalls for EV charging.

Administration supports this variance due to the significant community benefit of the development, with minimum impact to nearby developed properties.

3. Issue #3 Loading Stall

Section 2.7.3 of the LUB requires one (1) loading stall per multi-unit building unless it can be demonstrated that less loading stalls are acceptable. In this case, the application proposes a total of seven (7) multi-unit buildings, which would require a total of seven (7) loading stalls. The application is proposing a total of four (4) loading stalls within the development site. These are located as shown in Figure 1:

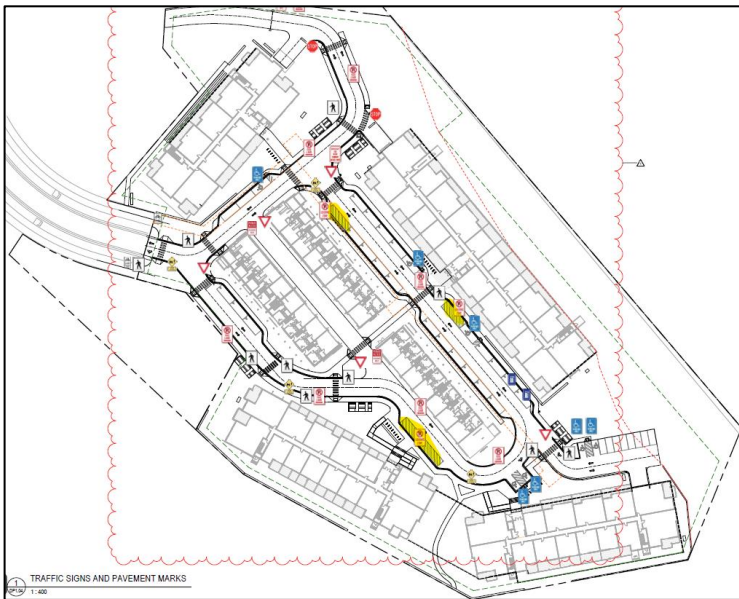


Figure 1: Loading stalls (marked in yellow) in relation to proposed building locations.

LUB excerpt:

2.7.3.1 A minimum of one (1) loading stall shall be required per multi-unit residential building or non-residential building, unless it can be otherwise demonstrated to the Development Authority that loading can reasonably take place without a dedicated stall on-site, or that it can be shared amongst multiple developments and/or tenants to minimize the number of loading stalls required.

Administration supports the request for four (4) instead of seven (7) loading stalls on site. Three of the proposed buildings are Townhouse developments with attached garages and laneway, which will reduce the potential impact on traffic flow as loading occurs. The four (4) proposed loading stalls are located within close proximity to the main entrances of the four (4) apartment buildings on site. Administration is satisfied that this will suffice the loading needs of this development. Due to the wording of Section 2.7.3 of the LUB, this reduction in the loading stall requirement does not constitute a variance, as it is up to the Development Authority's discretion to accept a different quantity of loading stall.

SUSTAINABILITY SCREENING REPORT (SSR)

The applicant's Sustainability Screening Report score of 69, suggests that the development will have a significant positive impact on the community (see Attachment 5).

OFF-SITE LEVIES

Offsite levies will be collected for this development at the current rate at the time of signing the Development Agreement.

LIGHTING

Details on exterior and site lighting have been provided with this application. Additional details for the fixed lighting fixtures will be provided at the building permit stage and will need to conform to the requirements of the Land Use Bylaw. A condition of approval requiring this has been added to the Schedule A.

SUBMITTED COMMENTS

No comments were received from the public regarding this development.

OPTIONS FOR CONSIDERATION

The CPC has three options:

1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
2. Refuse the application, specifying reason(s) for refusal.
3. Postpone the application, pending submission of any additional details requested by CPC.

RECOMMENDATION

Planning recommends that the Canmore Planning Commission **APPROVE** PL20230350, subject to the conditions of approval set out in Schedule A (Attachment attached to this report).

ATTACHMENTS:

1. Site Context
2. Zoning
3. Bylaw Conformance Review
4. Submitted Plans
5. Sustainability Screening Report (SSR) Narrative & Matrix
6. Schedule A – Conditions of Approval



Anika Drost, RPP, MCIP
Senior Development Planner



Harry Shnider, RPP, MCIP
Manager of Planning and Development

ATTACHMENT I – SITE CONTEXT



Aerial View of Site



Looking northeast towards site, standing near Three Sisters Boulevard roundabout.

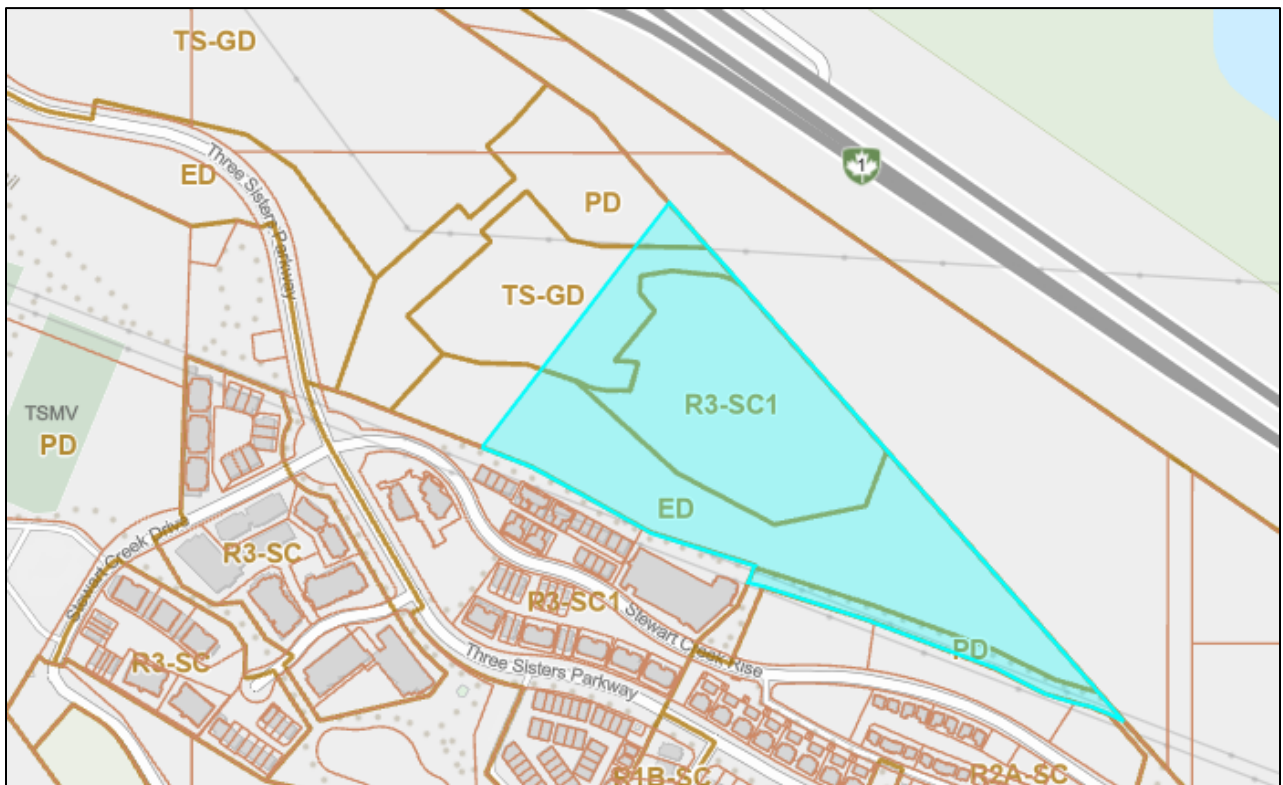


Looking west towards site in the distance, standing near Trans-Canada Highway turn-off, along Three Sisters Boulevard. Significant elevation change to existing development to the south can be observed along the right-hand side of photo.

ATTACHMENT 2 – ZONING



Zoning Map for Subject Site and Surrounding Area



Zoning Map for Subject Site and Surrounding Area

ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW

REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
DENSITY	67 UNITS/HA	87 UNITS/HA THROUGH APPLICATION OF DENSITY BONUSING	-
FRONT YARD SETBACK	MAX 3 M	MAX 3 M	-
SIDE YARD SETBACK (EAST)	3 M	3 M	-
SIDE YARD SETBACK (WEST)	3 M	3 M	-
REAR YARD SETBACK	3 M	13.5 M	-
MAX BUILDING HEIGHT	12 M	15.6 M	YES 30%
MAX BUILDING EAVELINE HEIGHT	9 M	11.52 M	YES 30%
LANDSCAPING AREA	40%	47.72%	-
TREES	572	785	-
SHRUBS	655	1032	-
PARKING VEHICLE PARKING BICYCLE PARKING	239 UNITS: 1 STALL/UNIT FOR UP TO 3 BDRM APARTMENT USE 1 STALL/UNIT FOR UP TO 1 BDRM TOWNHOUSE USE 322.5 LONG TERM BICYCLE STALLS FOR APARTMENT USE 0 LONG TERM BICYCLE STALLS FOR TOWNHOUSE USE 53.75 SHORT TERM BICYCLE STALLS FOR APARTMENT USE 3.6 SHORT TERM BICYCLE STALLS FOR TOWNHOUSE USE	239 UNITS = 343 VEHICLE PARKING STALLS 38 VISITOR VEHICLE PARKING STALLS 430 LONG TERM BICYCLE STALLS 64 SHORT TERM BICYCLE STALLS	- - -

ATTACHMENT 4 – SUBMITTED PLANS

ATTACHMENT 5 – SUSTAINABILITY SCREENING REPORT (SSR)

ATTACHMENT 6 – SCHEDULE A – CONDITIONS OF APPROVAL



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SCHEDULE A

CONDITIONS OF APPROVAL

DEVELOPMENT PERMIT No.: PL20230350

LAND USE DISTRICT: R3 SC1 – Residential Comprehensive Multiple Unit, Stewart Creek District

APPROVED USE(S): Apartment (4 Buildings at 40, 63 and 56 (x2) units) and Townhouse (3 Buildings at 8 units each)

APPROVED VARIANCE(S): Building Height, Eaveline Height

MUNICIPAL ADDRESS: 500 Cascade Drive

LEGAL ADDRESS: Lot 1 Block 19 Plan 1510968

APPROVED VARIANCES

1. Variance to Section 3.11.3.5 of the Land Use Bylaw 2018-22, to allow a maximum building height as identified in the approved plans as follows:
 - a) On Building 1, 3 & 4 to be increased to 15.6 metres (30% variance) instead of 12 metres;
 - b) On Building 2 to be increased to 13.8 metres (15% variance) instead of 12 metres; and
 - c) On Building 5, 6 & 7 to be increased to 13.0 metres (9% variance) instead of 12 metres.
2. Variance to Section 3.11.3.5 of the Land Use Bylaw 2018-22, to allow a maximum eaveline height as identified in the approved plans for Buildings 1, 3, and 4 to be increased to 11.7 metres (30% variance) instead of 9 metres.

STANDARD CONDITIONS

1. Prior to the release of the Development Permit, the applicant shall enter into a Development Agreement with the Town of Canmore to do the following:
 - a. Construct or pay for the construction of the municipal improvements, infrastructure and services required by the development, which may include but shall not be limited to:
 - Transportation;
 - Water;
 - Sanitary;
 - Storm; and
 - Fire
 - b. Pay the off-site levies imposed by the Off-Site Levy 2020 Bylaw (Bylaw 2020-27), as amended or replaced from time to time; and
 - c. Provide security in accordance with the Engineering Design and Construction Guidelines (EDCG) to ensure the terms of the Development Agreement are carried out.
2. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.



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3. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
4. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw (Bylaw 2019-10), as amended or replaced from time to time, and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore's Public Works Department.
5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
8. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.
9. All signs shall require a separate development permit.
10. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.

SPECIFIC CONDITIONS

11. The approval of this Development Permit recognizes the development to be completed in 8 phases as identified on the approved plans. In accordance with the Building Permit Bylaw 2022-31, a separate Building Permit application shall be submitted for each phase and must not include more than one building.
12. If construction of the subsequent phase(s) has not commenced within one year of the most recent phase being completed, the undeveloped portion of the entire site shall be hydro-seeded in accordance with Construction Management Plan (CMP) requirements.
13. The applicant shall provide security to the Town of Canmore to ensure the completion of the project, in the form of cash or an irrevocable Letter of Credit. The amount should be equal to or no less than 1.25 (125%) of the estimated project costs for the project for landscaping and all hard surfacing, paving; and 2. site servicing; both to the satisfaction of the Town. The Letter of Credit shall be supplied at the time of the signing of the Development Agreement and shall be in a format acceptable to the Town of Canmore.
14. The Developer shall pay off site levies according to the approved bylaw adopted by Council at the time of the signing of the Development Agreement. The Development Agreement shall specify the manner of the payment of these monies and all other relevant fees and contributions as determined by approved Town of Canmore policy(ies).
15. The Developer shall follow their approved Construction Management Plan. The construction management plan submitted prior to construction shall be followed through all stages of



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construction. If any problems arise where the Town Bylaws are being violated, a Stop Work Order will be delivered without warning and all construction shall cease until all problems have been rectified to the satisfaction of the Town of Canmore.

16. The Developer is required to provide a minimum of 239 vehicle parking stalls, 35 visitor vehicle parking stalls, 4 loading bays, 58 short term bicycle parking stalls and 323 long-term bicycle parking stalls, as shown in the approved plans.
17. The Developer shall provide landscaping generally in accordance with the approved landscaping plan.
18. The Developer agrees to comply with the requirements for enhanced green construction, and that the development will be **11% better than the current NECB** in place at the time of development, or where EnerGuide does apply, the development will meet the Green Building target of **11% better than the EnerGuide Reference House**, as outlined in Section 10 Green Building Regulations of the Land Use Bylaw.
19. Commitments expressed in the Developer's Sustainability Screening Report, including the provision of solar panels on Buildings 2 and 4, become conditions of approval upon the signing of this Schedule A.
20. The developer shall **provide nine (9) Perpetually Affordable Housing** units in accordance with the letter of agreement, as amended and updated, between the Developer and the Town of Canmore.
21. Prior to occupancy, the Developer shall register a public access easement to enable turning maneuvers for public vehicles and Town maintenance equipment, to the satisfaction of the Development Authority.

PRIOR TO RELEASE OF DEVELOPMENT PERMIT

22. Prior to release of the Development Permit, the developer shall resubmit civil drawings which provide appropriate means to intercept overland flow from catchment FF1 prior to discharging onto Cascade Drive to the satisfaction of the Development Authority.
23. Prior to release of the Development Permit, the developer shall resubmit civil drawings which show check valves for the Building 4 & 5 watermain loop to the satisfaction of the Development Authority.
24. Prior to release of Development Permit, the Developer shall pay the current Canmore Planning Commission decision making authority fee of \$330.00.
25. Prior to the release of the Development Permit, the Developer shall pay the following variance fees:

Two (2) approved variances:

Discretion limited in Land Use Bylaw 2 @ \$340.00 = \$680.00

TOTAL FEES PAYABLE: \$680.00



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PRIOR TO RELEASE OF BUILDING PERMIT

- 26. Prior to the release of the Building Permit, the Developer shall **provide a pre-construction energy report** estimating the energy efficiency of the development using the current NECB.
- 27. Prior to the release of the Building Permit the Developer shall demonstrate on their floor plans that the units intended as **Perpetual Affordable Housing (PAH)** meet the requirements for the PAH Build and Price Guidelines, to the satisfaction of Canmore Community Housing. Units that do not meet the guidelines may not be counted as PAH.
- 28. Prior to release of the building permit (for full building), the Developer shall provide drawings that show a bike detection system for the parkade door to the satisfaction of the Municipal Engineer.

PRIOR TO OCCUPANCY AND OPERATION

- 29. Prior to occupancy, **signage is to be installed** for the loading zones near the main entrances of the buildings and, the visitor parking stalls on the property, to the satisfaction of the Development Authority.
- 30. Prior to occupancy, the developer shall prepare a Restrictive Covenant for applicable development setbacks to steep slopes in accordance with the Englobe Geotechnical Evaluation & Post Grading Slope Stability Report dated December 5, 2023. The Town of Canmore must be a party to the Restrictive Covenant indicating it cannot be discharged without the Town's consent.
- 31. Prior to occupancy, the Developer **shall provide evidence that Built Green Silver certification** (or equivalent to the satisfaction of the Development Officer) has been achieved. A preliminary notification of compliance provided by the third party shall suffice in this regard, with the official copy of final certification required within 90 days of occupancy of the building or, as applicable, the final unit.
- 32. Prior to occupancy of each building, emergency access through lot 4 shall be constructed in accordance with the "City of Calgary Fire Department Access Standards" to the satisfaction of the Fire Chief.
- 33. Prior to occupancy of each building, Construction Completion Certificates for water and sanitary shall be submitted by the consulting engineer and accepted by the Town.

ADVISORY COMMENTS

- a) Please note that each building of the development will require a separate building permit application to be submitted.

DocuSigned by:

 198E9D7FBCAB494...
 Signature
 Chair, Canmore Planning Commission

6/20/2024 | 3:13 PM MDT

Date

IS A NOTICE POSTING REQUIRED: YES NO