Town of Canmore 902 7th Avenue Canmore, Alberta T1W 3K1 Phone: 403.678.1500 | Fax: 403.678.1534 WWW.Canmore.Ca



### AGENDA Canmore Planning Commission Canmore Civic Centre – Council Chambers Wednesday, March 20, 2024 2:00 p.m.

- A. Call to Order
- B. Land Acknowledgement
- C. Adoption of Agenda
- D. Approval of Minutes of the February 21, 2024, meeting
- E. Development Permit Applications:
- 1. PL20230389

205 Stewart Creek Rise Lot 29, Block 21, Plan 231 690 Variances: Maximum building height, maximum building projections, maximum density, minimum side yard setback, minimum visitor parking, driveway design and building materials.

- F. Other Planning Business None
- G. Next Scheduled Meeting April 17, 2024
- H. Adjourn



### TOWN OF CANMORE MINUTES Canmore Planning Commission Council Chambers Wednesday, February 21, 2024, at 2:00 p.m.

### MEMBERS PRESENT

Whitney Smithers	Chair
Florian Jungen	Public Representative
Brian Talbot	Public Representative
Spencer Thackray	Public Representative
Joanna McCallum	Councillor
Jeff Hilstad	Councillor

### MEMBERS ABSENT

None.

### **ADMINISTRATION PRESENT**

Riley Welden	Acting Manager of Planning and Development
Harry Shnider	Senior Development Planner
Ruby Potgieter	Secretary

### CALL TO ORDER

Chair W. Smithers called the February 21, 2024, regular meeting to order at 2:01 p.m.

### **ADOPTION OF AGENDA**

Chair W. Smithers moved that the Agenda of the Canmore Planning Commission meeting of November 29, 2023, be adopted.

### MOTION CARRIED UNANIMOUSLY

### **VOTE FOR VICE CHAIRPERSON**

It was moved by B. Talbot that F. Jungen be elected as Vice Chairperson. Member F. Jungen accepted this nomination. There were no other nominations.

### MOTION CARRIED UNANIMOUSLY

### **ADOPTION OF MINUTES**

Chair W. Smithers moved that the Agenda of the Canmore Planning Commission meeting of November 29, 2023, as presented be adopted.

### MOTION CARRIED UNANIMOUSLY

Minutes approved by: \_\_\_\_\_





### **DEVELOPMENT PERMIT APPLICATION**

### Development Permit Application: PL20230037

1 Silvertip Trail Lot 1, Block 17, Plan 971 1512 Variances: Fence height. Section 2.13.0.1 of the Land Use Bylaw, to allow a maximum fence height of 2.15 m instead of 1.8 m.

### **ADMINISTRATION'S PRESENTATION OF THE APPLICATION**

Administration (Harry Shnider) presented the application.

### **APPLICATION QUESTIONS FROM THE BOARD**

Administration answered questions from the Commission.

### **QUESTIONS/COMMENTS FROM THE APPLICANT AND APPLICANT SPOKESPERSON**

The Applicant, Chris Sparrow, spoke to the application and answered questions from the Commission.

### **QUESTIONS/COMMENTS FROM THE PUBLIC.**

None.

### **DECISION**

Chair W. Smithers moved that application **PL20230037** be **APPROVED** subject to conditions outlined in Schedule A.

MOTION CARRIED UNANIMOUSLY

Minutes approved by: \_\_\_\_\_

Canmore Planning Commission Meeting November 29, 2023 Page **3** of **3** 

### **OTHER PLANNING BUSINESS**

None.

### NEXT SCHEDULED MEETING

March 20, 2024

### ADJOURNMENT

Chair W. Smithers moved that the meeting be adjourned.

### MOTION CARRIED 2:21P.M.

Whitney Smithers, CPC Chair

Ruby Potgieter, Secretary

Minutes approved by: \_\_\_\_\_



# CANMORE ANNING COMMISSION **STAFF REPORT**



DATE:

MARCH 20, 2024

COMPREHENSIVELY DESIGNED MULTI-UNIT RESIDENTIAL **DEVELOPMENT (18-UNIT STACKED TOWNHOUSE)** 

**APPLICATION NUMBER:** 

**PROPOSED DEVELOPMENT:** 

**LEGAL DESCRIPTION:** 

**CIVIC ADDRESS:** 

CURRENT USE(S):

**APPLICANT:** 

**REFERENCED DOCUMENTS:** 

PL20230389

LOT 29, BLOCK 21, PLAN 231 690

205 STEWART CREEK RISE

VACANT LAND

CANMORE COMMUNITY HOUSING

LAND USE BYLAW 2018-22:

SECTION 3.21 R2A-SC DISTRICT

- SECTION 11 COMMUNITY ARCHITECTURAL & URBAN DESIGN STANDARDS
- SECTION 12. DENSITY BONUS REGULATIONS •

### **EXECUTIVE SUMMARY**

This application proposes a comprehensively designed multi-unit residential development (two stacked townhouse buildings totalling 18 units). The development will be part of Canmore Community Housing's inventory of below market units. The subject site is located at 205 Stewart Creek Rise. Seven variances to the Land Use Bylaw (LUB) are required. Administration supports this application and proposed variances given the substantial public benefit the project offers.

### BACKGROUND

Direction from the Municipal Development Plan:

### Alternate Standards and Variances [for affordable housing]

5.1.3 Alternate or less stringent architectural design standards for affordable housing will be allowed where the development remains complementary to the neighbourhood in which it is located.

### **Non-Market Affordable Housing Incentives**

5.2.2 Opportunities for density bonusing will be provided where non-market affordable housing units are constructed, pursuant to density bonusing regulations.

5.2.3 Additional variances beyond density bonusing should be considered for developments that include non-market affordable housing units, including but not limited to floor area ratio (FAR), parking, building height, architectural design, and landscaping.

Direction from the Stewart Creek Area Structure Plan:

### Plan Goal 3.1

Allow for the development of a comprehensively planned residential community that provides a range of housing types and tenures.

### **EXISTING SITE**

The subject site, 205 Stewart Creek Rise, is currently vacant. The site is located within, and governed by, the R2A-SC Residential Low Density, Stewart Creek District. The proposed use of the subject site, Comprehensively Designed Multi-Unit Residential Development, is a discretionary land use in the district. Adjacent uses include:

- Townhouses to the north;
- Townhouses with detached accessory dwelling units to the south;
- Townhouses to the east; and
- Townhouses and a small park to the west.

Please see Attachment I for an aerial view of these adjacent uses.

### **BYLAW CONFORMANCE/VARIANCE DISCUSSION**

This application requires seven variances to the Town's Land Use Bylaw, specifically, to minimum yard setback and visitor parking, maximum building height, building projections and density, and requirements for driveway design and building wall materials.

### I. Issue #I Building Setbacks

With regards to setbacks, the LUB requires the following for this type of development in the R2A-SC District:

Section 3.21.4.2 - 3.0 m setbacks required on front, side, and rear yards shall be used for comprehensively designed developments that include multi-unit residential uses only.

The proposed north building is 1.6 m from the east property line, resulting in a 1.4 m variance to the above standard. The size of the variance (46.7%) is allowable as per Section 1.14.3, which allows for the variance powers of the development authority, identified under Section 1.14, to be increased where the proposed development provides an extraordinary net benefit to the community. Given the proposed development is for Vital Homes, Administration believes this criterion is met.

With regards to impacts on adjacent development to the east, the development does not appear to unreasonably impact the access to views, privacy, or light. The subject development runs east-west, so it will not shade the adjacent development. The proposed use of this portion of the building is for a one-storey mechanical room, so privacy will not be of concern (see Figure 1). With regards to views, the R2A-SC District allows for non-comprehensively designed multi-unit residential developments, for example, a single row of townhouses to be up to 1.5 m from the side property line. This would have the same, if not more impact on the adjacent development than that proposed. Given the community benefit and minimal impacts on adjacent properties, Administration supports the proposed variance.



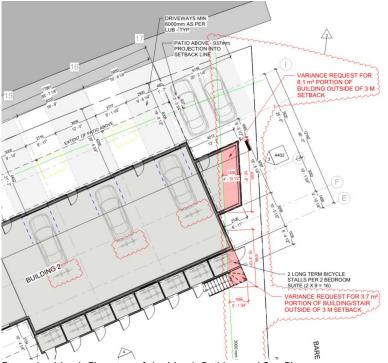


Figure I – North Elevation of the North Building and Site Plan

Related to this variance are three projection variances - the eaves above the east side of the north building, the rear common deck behind the north building (above the bicycle storage rooms) and the stairway leading from the

deck to grade. Administration supports these variances for the same reasons as outlined above.

### 2. Issue #2 Building Height

The LUB limits maximum height in the R2A-SC District as follows:

3.21.3.5 ...the maximum building height shall be 11.0 m for a Townhouse, Stacked development, or **10.5 m for** a Duplex Dwelling, Townhouse and Accessory Dwelling Unit, Detached development associated with a Comprehensively Designed Multi-Unit Residential Development as determined in accordance with Section 2: General Regulations.

The proposed development is 11.67 m in height, requiring a 11.2% variance (see Figure 2 and 3).



Figure 2 - North Building



Figure 3 - South Building

With regards to impacts on adjacent developments, the development does not appear to unreasonably impact the access to views, privacy, or light of the adjacent properties. For example, the buildings step up as they move from their sides to their middle, which makes its impact on the east and west developments the same as, or even less than, a compliant building built to maximum height right to the setback (see Figures 2 and 3). Furthermore, there is 15 m of distance between the property line of this site and the adjacent site to the north. In addition, there is 26 m of separation between the rear property line of this site and the façade of the townhomes (excluding the garages) to the south. Finally, there are roof areas for both buildings that are substantially under height, which is to the advantage of the adjacent properties to the north and south.

Administration supports this variance given the community benefit of the project, and that the impacts of the variance are anticipated to be minor.

### 3. Issue #3 Density

The LUB limits maximum density in the R2A-SC District as follows:

3.21.4.4 The maximum density of principal units for comprehensively designed development sites shall be 67 units per hectare.

The proposed development requires 80.4 units per hectare, a 20% variance. However, Section 12 Density Bonusing of the LUB allows the Canmore Planning Commission to grant up to a 30% variance to density for development that includes some Vital Home units. In this case, the entire development includes Vital Home units. Given the community benefit provided by the development, Administration supports the increase in the number of permitted units.

### 4. Issue #4 Miscellaneous

The development also requires three general variances not specific to the R2A-SC District, but the general sections of the LUB. These include to Section 2.3.0.1g&h which outlines the number and width of driveways, to Section 2.7.7.1 which outlines minimum visitor parking requirements, and to Section 11.6.7.1 which outlines acceptable building wall materials.

The proposed development provides front and rear driveways, each with direct access to the street and lane rather than through a shared internal access. Furthermore, some of the front driveway and parking widths exceed 5m and do not utilize a decorative surface material. Administration is supportive of these variances, as the site is an irregular shape and is also narrow, which limits space for internal parking. Furthermore, Administration is supportive of the applicant's preference to maximize the use the internal space of the site for amenity space to enhance the experience of those that will occupy the units.

The proposed development provides 18 parking stalls, each assigned to one of the 18 units. Two visitor parking stalls are required but have not been provided. Administration is supportive of the variance, as 10 units will have a garage with driveway parking for guests, lowering the actual demand for common visitor parking. Moreover, there will be space for some parking along the street that is adjacent to the site. Finally, the development is located adjacent to the Town's trail network, allowing for, and encouraging local visitors to take other modes of transportation to visit the site.

The proposed development incorporates the material corten steel on its façade. While this is an expensive material, steel siding in general is not an acceptable wall material under Section 11 (Section 11.6.7.1) of the LUB. However, given its application on the building is small and is meant to enhance the look of the building, Administration supports the variance.

### SUSTAINABILITY SCREENING REPORT (SSR)

Given that the proposed development will serve as part of the Town's Vital Homes program, which offers below market dwellings, the applicant's Sustainability Screening Report score (284) is extremely high. (see Attachment 5).

### **OFF-SITE LEVIES**

Offsite levies will be collected for this development at the current rate at the time of signing the Development Agreement.

### LIGHTING

Details on exterior and site lighting have been provided with this application. Additional details for the fixed lighting fixtures will be provided at the building permit stage and will need to conform to the requirements of the Land Use Bylaw. A condition of approval requiring this has been added to the Schedule A.

### SUBMITTED COMMENTS

The following comments were received from the public regarding the proposed development:

### IN OPPOSITION

One comment expressing concern was received. The concern was regarding the appearance of the building relative to other development in Stewart Creek and the private architectural controls registered on Stewart Creek properties. However, Canmore Community Housing has received approval from Three Sister's Mountain Village ensuring compliance with these private architectural standards.

### IN FAVOUR

No comments received.

### NEUTRAL

No comments received.

### **OPTIONS FOR CONSIDERATION**

The CPC has three options:

- 1. Approve the application subject to the conditions or in addition to others than those contained in Schedule A.
- 2. Refuse the application, specifying reason(s) for refusal.
- 3. Postpone the application, pending submission of any additional details requested by CPC.

### RECOMMENDATION

Planning recommends that the Canmore Planning Commission <u>APPROVE</u> PL20230389, subject to the conditions of approval set out in Schedule A (Attachment attached to this report).

### **ATTACHMENTS**:

- I. Site Context [Including aerial photo of area with site identified]
- 2. Zoning [Including zoning map of area with zoning of site & adjacent sites identified]
- 3. Bylaw Conformance Review
- 4. Submitted Plans [Including sections, elevations & renderings]
- 5. Sustainability Screening Report (SSR) Narrative & Matrix [If applicable]
- 6. Schedule A Conditions of Approval

### ATTACHMENT I – SITE CONTEXT



Aerial View of Site



Looking East



Looking South



Looking West



Looking North

### **ATTACHMENT 2 – ZONING**



Zoning Map for Subject Site and Surrounding Area

### ATTACHMENT 3 - BYLAW CONFORMANCE REVIEW

REQUIREMENT	BYLAW 2018-22	PROPOSED	VARIANCE
Density	67 Units/Ha	80.4 Units/Ha	Yes
Front Yard Setback	MIN 3.0 M	3.27 м –	
Side Yard Setback (West)	3.0 M	3.5 м	-
Side Yard Setback (East)	3.0 м	І.6 м	Yes
Rear Yard Setback	3.0 м	3.37 м	-
Max Building Height	10.50 м	11.67 м	Yes
Building Roof Pitch	6:12 (for 65%)	6-9:12	-
Site Coverage	39.8%	45%	-
Landscaping Area Trees Shrubs	N/A N/A N/A	N/A 40 96	-
Parking Vehicle Parking Visitor Parking Bicycle Parking	18 Stalls 2 Stalls 16 Long Term Bicycle Stalls 3 Short Term Bicycle Stalls	18 Stalls 0 Stalls 16 Long Term Bicycle Stalls 14 Short Term Bicycle Stalls	- Yes - -

### **ATTACHMENT 4 – SUBMITTED PLANS**



# 205 STEWART CREEK RISE

# ISSUED FOR: 18/12/2023 DEVELOPMENT PERMIT

CLIENT: CANMORE COMMUNITY HOUSING

ARCHITECTURAL DESIGN BY: MONTANE ARCHITECTURE

LANDSCAPE DESIGN BY: MCHELHANNEY

INTERIOR DESIGN BY: NEST DESIGN AND DRAFTING STUDIO MCELHANNEY

CIVIL ENGINEERING BY:

16

205 Stewart Creek Rise, Canmore

STRUCTURAL ENGINEERING BY:

T1W ENGINEERING

PRECONSTRUCTION SERVICES BY: ASHTON CONSTRUCTION

# MONTANE

	ARCHITECTURAL SHEET LIST
SHEET NUMBER	SHEET NAME
A000	TITLE SHEET
A001	SHEET LIST AND GENERAL NOTES
A002	SITE PICTURES AND SURVEY
A101	SITE PLAN - MAIN FLOOR
A102	SITE PLAN - ROOF
A201	MAIN FLOOR PLAN
A202	2ND FLOOR PLAN
A203	3RD FLOOR PLAN
A401	ELEVATIONS
A402	ELEVATIONS
A500	BUIDING SECTIONS
A601	WALL SECTIONS
A800	RENDERINGS
A801	RENDERINGS

EL	ECTRICAL SHEET LIST	
SHEET NUMBER SHEET NAME		
E000	ELECTRICAL COVER PAGE AND SITE PLAN	
E001	ELECTRICAL SECOND FLOOR PLAN	
E100	ELECTRICAL LIGHTING CALCULATION LAYOUT - MAIN FLOOR	
E101	ELECTRICAL LIGHTING CALCULATION LAYOUT - SECOND FLOOR	
E200	ELECTRICAL SPECIFICATIONS	
LA	NDSCAPE SHEET LIST	
SHEET NUMBER	SHEET NAME	
L000	SITE PLAN	

CI	VIL SHEET LIST
SHEET NUMBER	SHEET NAME
-000	COVER PAGE
-001	LEGENDS AND NOTES
-100	SURFACE WORKS AND GRADING
-200	UNDERGROUND UTILITIES
-300	STORMWATER DESIGN
-400	DETAILS
-401	DETAILS
SL	JRVEY

PLOT PLAN

### 

ABBRI	EVIATIONS			
DS	DOWN SPOUT	GALV	GALVANIZED	R/A
ACC ACFL	ACCESSIBLE ACCESS FLOOR	GB GBN	GRAB BAR GARBAGE BIN	rb RCP
ACEL	ACCESS FLOOR ACOUSTICAL CEILING	GC	GENERAL	RGP
	TILE		CONTRACTOR	RD
AD ADJ	AREA DRAIN ADJACENT	GL GRD	GLASS / GLAZING GROUND	re Reinf
AFF	ABOVE FINISHED	GWB	GYPSUM WALL BOARD	REF
ALUM	FLOOR ALUMINUM	GWG	GEORGIAN WIRE GLASS	REFR REQ'D
ANNP	ANNUNCIATOR PANEL	GYP	GYPSUM	RES
ANOD APPROX	ANODIZED APPROXIMATE	HB	HOSE BIB	REV RM
ARCH	ARCHITECTURAL	HC	HOLLOW CORE	RO
AUTO AVB	AUTOMATIC AIR VAPOUR BARRIER	H/C HCW	HANDICAP HOLLOW CORE WOOD	RR
AVM	AIR VAPOUR	HD	HANGAR DOOR	RSF
	MOISTURE BARRIER	HDR	HEADER	RUB
В	BASE	HDWD HDWR	HARDWOOD HARDWARE	RWL
BF	BIFOLD DOOR	HM	HOLLOW METAL	S/A
BLDG BM	BUILDING BEAM	HO HOR	HONEY-COMB HORIZONTAL	SAM
B/O	BOTTOM OF	HR	HOUR	SC
BOL BUR	BOLLARD BUILT UP ROOFING	HSKG HSS	HOUSEKEEPING HOLLOW STEEL	SCW SD
Dont			SECTION	SF
CAB CB	CABINET CATCH BASIN	HT HVAC	HEIGHT HEATING / VENTING /	SFL SG
CD	COILING DOOR	IIIAO	AIR CONDITIONING	00
CG	CORNER GUARD	HVY HW	HEAVY HOT WATER	SHT SIA
CIP CJ	CAST IN PLACE CONTROL JOINT	1100	HOT WATER	SIA
C/L	CENTRE LINE	ID	INSIDE DIAMETER	SIM SL
CLG CLR	CEILING CLEARANCE	INFO INSUL	INFORMATION INSULATION	SMC
CMP	COMPOSITE METAL	INT	INTERIOR	200
CMU	PANEL CONCRETE MASONRY	IMP	INSULATED METAL PANEL	SOG SP
GIVIO	UNIT	ISO	POLYISOCYANURATE	SPEC
COL COM	COLUMN CUSTOMERS OWN	JAN	JANITOR CLOSET	SQ SS
COW	MATERIAL	JAN	JANITOR GLOGET	SSM
CONC CONST	CONCRETE CONSTRUCTION	KIT	KITCHEN	ST
CONST	CONTINUOUS	L	LENGTH	STC
CORR	CORRIDOR	LAV	LAVATORY	STD
CPT CPT-T	CARPET CARPET TILE	LINO LL	LINOLEUM LIVE LOAD	STL
CS	COUNTER SHUTTER	LVR	LOUVER	STOR STRUC
CT CW	CERAMIC TILE CURTAIN WALL	m	METED	SUSP
C/W	COMPLETE WITH	m MATL	METER MATERIAL	-
DCRON DD	DURACRON DOUBLE SWING DOOR	MAX	MAXIMUM	TBD TD
DEG	DEGREES	MECH MED	MECHANICAL MEDIUM	TEL
DEMO	DEMOLITION	MEL	MELAMINE	TEMP TERR
DF DIA	DRINKING FOUNTAIN DIAMETER	MEP	MECHANICAL, ELECTRICAL AND	T/O
DIM	DIMENSION	14533	PLUMBING	TOC TOF
DL DN	DEAD LOAD DOWN	MEZZ MF	MEZZANINE MINERAL FIBRE	TOS
DNAR	DURANAR	MFR	MANUFACTURER	TPO
DP DR	DEPTH DOOR	MH MIN	MANHOLE MINIMUM	TS
DW	DISH WASHER	MISC	MISCELLANEOUS	TSG
DWG	DRAWING	MLDG MLWK	MOULDING MILLWORK	TYP
EA	EACH	mm	MILLIMETER	
EJ	EXPANSION JOINT	MP	METAL PANEL	u/g UNO
EL ELEC	ELEVATION ELECTRICAL	MTD MTL	MOUNTED METAL	
ELEV	ELEVATOR			U/S
EP	ELECTRICAL PANEL	N/A NF	NOT APPLICABLE NO FRAME	V
EPDM	ETHYLENE PROPYLENEDIENE	INF	(FRAMELESS)	VB VCT
EPX	M-CLASS (ROOFING) EPOXY	NIC No.	NOT IN CONTRACT NUMBER	
EQ	EQUAL	NTS	NOT TO SCALE	VERT VEST
ES	EMERGENCY SHOWER	0/0		VIF
EXIST	EXISTING	O/C OD	ON CENTRE OUTSIDE DIAMETER	W
EXP	EXPOSED	OH	OVERHEAD DOOR	WC
EXP-S	EXPOSED STRUCTURE	o/H opng	OVERHEAD OPENING	W/C
EXT	EXTERIOR	OPP	OPPOSITE	WD WH
EWS	EYE WASH STATION	OS OWSJ	OWNER SUPPLIED OPEN WEB STEEL	WP
F	FRAME	OWSJ	JOIST	WPR WRM
FAAP	FIRE ALARM ANNUNCIATOR PANEL	Р	PAINT (colour)	WV
FAB	FABRIC	PC	POWDER COAT	
FC FD	FLASH COVE FLOOR DRAIN	P.CONC	POLISHED CONCRETE	X-HVY
FDN	FOUNDATION	PD PERP	PLANTER DRAIN PERPENDICULAR	
FE FFE	FIRE EXTINGUISHER FINISH FLOOR	PH	PHASE	
	ELEVATION	PL PLAM	PROPERTY LINE PLASTIC LAMINATE	
FF&E	FURNITURE FIXTURES & EQUIPMENT	PLYWD	PLYWOOD	
FHC	FIRE HOSE CABINET	PO		
FLR F/O	FLOOR FACE OF	POLY POLY-U	POLYETHYLENE POLYURETHANE	
F/O FOC	FACE OF FACE OF CONCRETE	PREFAB	PREFABRICATED	
FOG	FACE OF GLAZING	PREFIN PS	PREFINISHED PRESSED STEEL	
FOS FP	FACE OF STUD FRAME PROTECTION	PSFR	PRESSED STEEL	
FRR	FIRE RESISTANCE	PT	FRAME PRESSURE TREATED	
FT	RATING FOOT/FEET	PTD	PAINTED	
		QT	QUARRY TILE	
G ( ) GA	GLASS (type) GAUGE			
		R	RADIUS	

### **GENERAL NOTES**

1 drawings are not to be scaled

2 all dimensions and installations are to be verified on site

3 contractor to comply to all current ALBERTA BUILDING CODE rules plus any and all authorities having jurisdiction during all phases of work 4 it is the contractors responsibility to bring all omissions, discrepancies, including dimensions, to the attention of the designer prior to the commencing of any work

5 any patching, repair, refinishing, reconstruction & repainting work required as a result of performance of work for this contract shall incorporate and be preformed with materials to match same and shall match required fire ratings

6 where "TYPE X" gypsum wall board is noted on drawings, provide fire-rated gypsum wall board with U.L.C. label 7 pre-drilled inserts are to be used when attaching or fastening materials or

fitments to masonry or concrete walls, floors, slabs or ceiling assemblies

8 refer to structural drawings and specifications for reinforcing and core filling of masonry walls at wall openings, corners & terminations unless noted otherwise

9 where indicated on electrical drawings, provide 19mm/3/4" plywood backing to sides noted for surface mounting electrical panels. paint prior to installation 10 provide solid blocking (2"x6") in stud partitions behind all recessed or

flush mounted equipment & accessories at all anchor points 11 it is the contractors responsibility to coordinate his own forces & his sub trades to ensure that holes cut for penetrations through the exterior wall systems are not oversized. after installation of any penetrations, the voids between the penetration opening and the penetration materials shall be completely sealed to ensure the integrity of the air/vapour barrier

12 where architectural, structural, mechanical or electrical installations penetrate wall and/or floor assemblies seal any such penetrations with fire rated acoustic sealant & maintain required fire rating & acoustic minimums

13 these architectural drawings shall be read in conjunction with structural engineer's letter, notes and shop drawings as well as mechanical & electrical drawings & roof truss/ joist supplier/ manufacturer's drawings 14 approved primer shall be used on all peal and stick products 15 all wood cladding products including siding, knee braces, wall shingles, trim and boards shall be back primed prior to installation

16 all through wall flashings shall be complete with a 100mm/4" high back leg. all horizontal laps shall be minimum 150mm/6" minimum & back caulked. a through wall flashing is required at all horizontal expansion joints, building band trims & below gable end louvre vents 17 all exterior fasteners shall be hot dipped galvanized 18 all side wall vents; furnaces, boilers, driers & bathroom vents shall be back caulked at the vent flanges (top & sides) to a piece of 60 minute flashing paper placed behind the vent. all of the surrounding field paper shall then be placed over the top and side vent flanges. do not place the building paper over the bottom flange. provide a drip cap flashing with end dams over all vents. caulk the sides of the vents to the cladding

19 all exterior electrical outlet penetrations through the wall sheathing shall be placed through a small hole in a 300mm x 400mm/12"x16" piece of EPDM roofing so that the EPDM stretches & laps the sides of the box out to the face, this shall be lapped shingle style into the building paper. all surface mounted light pans shall be complete with flashing paper behind the pan prior to it's installation. caulking around where it penetrates the flashing paper, which shall be lapped shingle style into the building paper. provide an appropriate vinyl trim finish kit to all of

the penetrations 20 all exterior hose bibs are to be placed through a 6mm/1/4" hole in the center of a 300mm x 300mm/12"x12" piece of EPDM roofing. this shall be lapped shingle style into the building paper. provide an approved trim finish kit to all of the penetrations 21 ensure that all pre-finished metal capping to the wood fascias, deck trims and band boards are complete with positive drainage 22 any large mechanical grille openings on the elevations shall be prepared & finished in the same manner as the window assemblies 23 house to be mechanically ventilated by principle exhaust fan. switch for principle exhaust fan to be identified as ventilation switch 24 roof vents to be installed as per all applicable building codes. (unobstructed vent area shall be not less than 1/300 of insulated ceiling area or 1/150 on roof slopes of less than 1 in 6, unless otherwise noted) 25 The Designer assumes no liability for any errors or omissions which may effect construction. The designer shall also not be responsible for any variance from the structural design ans specification or adjustments required resulting from conditions encountered at the building site and is the sole responsibility of the contractor and/or owner

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ANNOTATION SYMBO	-	
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	REVISION TAG	

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STRUCT

SP SPEC RETURN AIR

BASE ROOF DRAIN

RUBBER BASE

REFLECTED CEILING

**REVOLVING DOOR** 

REINFORCED

REFERENCE

REQUIRED

REVISION

RUBBER

SUPPLY AIR

SELF-ADHERED MEMBRANE SOLID CORE

SOLID CORE WOOD SINGLE SWING DOOR

SQUARE FEET

SAFETY FLOOR STRUCTURAL

GLAZING

SIAMESE CONNECTION SIMILAR

SLIDING DOOR

STEEL METAL CARRIER

SLAB ON GRADE STAND PIPE

SPECIFICATION

STAINLESS STEEL

SOLID SURFACING MATERIAL STONE

TRANSMISSION CLASS

SQUARE

SOUND

STEEL

STORAGE

STRUCTURAL

SUSPENDED

TELEPHONE

TEMPORARY

TERRAZZO

TOP OF FLOOR

TOP OF STEEL

THERMOPLASTIC POLYOLEFIN TRANSITION STRIP

TEMPERED SAFETY

TOP OF TOP OF CURB

GLASS

TYPICAL

TO BE DETERMINED

TRENCH DRAIN

STANDARD

SHEET

ROLLING DOOR RAPID ROLL DOOR

RESILIENT SHEET FLOORING

RAINWATER LEADER

ROOM

REFRIGERATOR

RESILIENT FLOORING

UNDER GROUND UNLESS NOTED OTHERWISE UNDERSIDE VENEER

VAPOUR BARRIER VINYL COMPOSITE VERTICAL VESTIBULE VERIFY IN FIELD

WIDTH WALL COVERING WATER CLOSET WOOD WATER HEATER WATERPROOF WALL PROTECTION WASHROOM

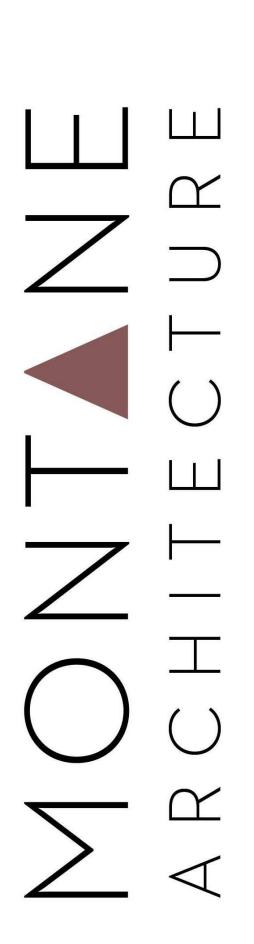
WOOD VENEER EXTRA HEAVY

> FINISH Μ <E

> > $\wedge$

### ASSEMBLY SYMBOLS

0	WALL / FLOOR ASSEMBLY TAG
P1	PARTITION ASSEMBLY TAG
1t 2600	CEILING ASSEMBLY CEILING ASSEMBLY TAG CEILING HEIGHT A.F.F.
$\langle 1t \rangle$	ROOF ASSEMBLY TAG
NISHES SYMBOLS	
$\oplus$	FINISH SET OUT / START POINT
C1	FINISH TYPE TAG
MW000	MILLWORK TYPE TAG
EQ000	EQUIPMENT TYPE TAG
SD	ACCESSORY TYPE TAG
00 A0.00	FINISH FLOOR TRANSITION TAG



### ISSUED FOR

1 18/12/2023 ISSUED FOR DP



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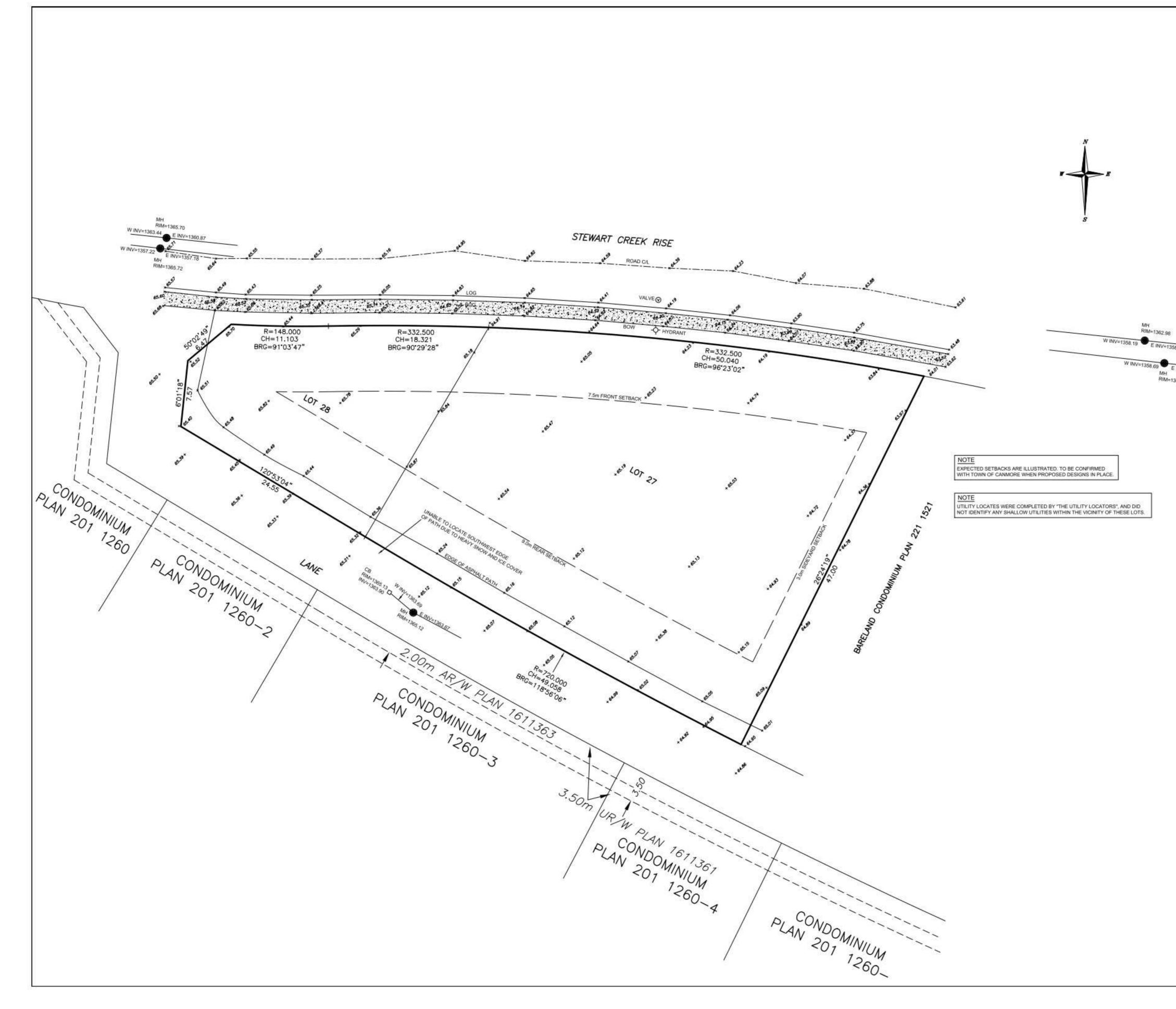


### SHEET LIST AND GENERAL NOTES

PLOT DATE: 2023-12-15 4:36:29 PM

A001





	SITE PLAN
	LEGAL DESCRIPTION ZONES LOT 27: R3-SC
	LOT 27 AND 28, LOT 28: PD
	BLOCK 21, PLAN 1611360
	MUNICIPAL ADDRESS
	201 & 205 STEWART CREEK RISE, CANMORE
	PREPARED FOR
	CANMORE COMMUNITY HOUSING
	SCALE = 1:200
	5 4 3 2 1 0 5 10 20
	DATUM: ASCM 404251
MH	
FIM=1362.98 =1358.19 E INV=1358.18	LEGEND:
W INV=1358.69	BACK OF WALK BOW BACK OF CURB BOC
RIM=1362.89	LIP OF GUTTER
	CENTERLINE C/L WEST. W
	EASTE
	CATCHBASIN CB MANHOLE MH
	MANHULE
AND DID IESE LOTS.	SPOT ELEVATION *99.99 (add 1300.00 for GEODETIC)
	PLAN INFORMATION BASED ON A FIELD SURVEY COMPLETED FEBRUARY 15, 2023.
	LOT AREA <u>1830.8 m²</u> (LOT 27) LOT AREA <u>530.6 m²</u> (LOT 28)
	NOTE: Distances and elevations are in metres.
	DESIGN DATE MARCH 2, 2023
	ALBERTA LAND SURVEYOR
	McElhanney Land Surveys (Alta) Ltd. 203 - 502 BOW VALLEY TRAIL, CANMORE AB, TIW 1N9 PH (403) 678-6363; FAX (855) 407-3895
	FILE: 23-113



PLOT DATE: 2023-12-15 4:36:29 PM

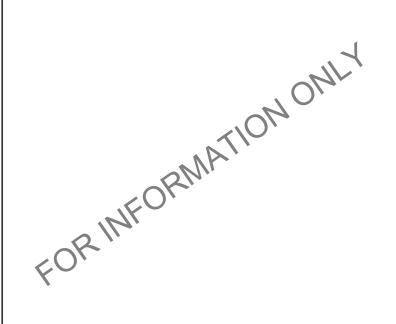
### SITE PICTURES AND SURVEY





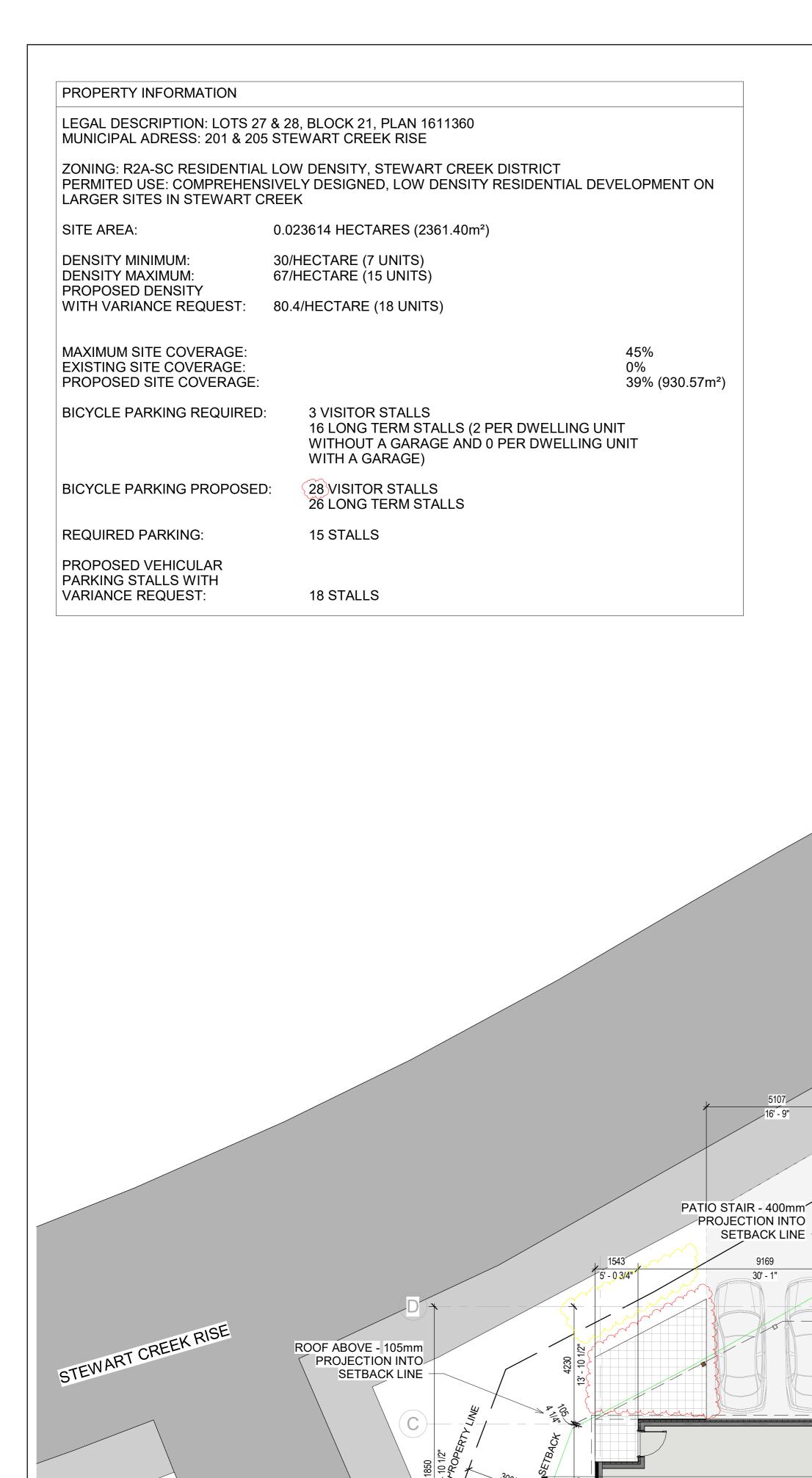


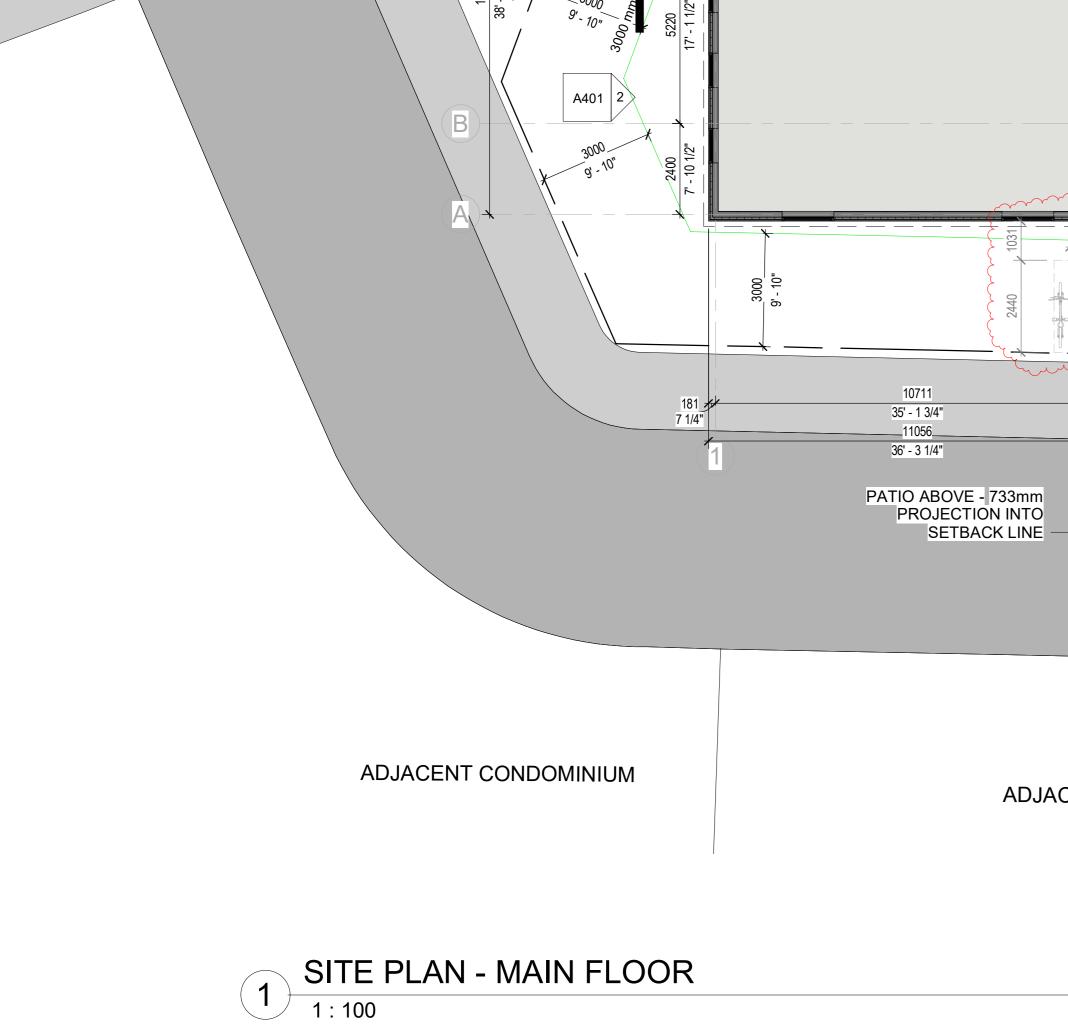
SEAL

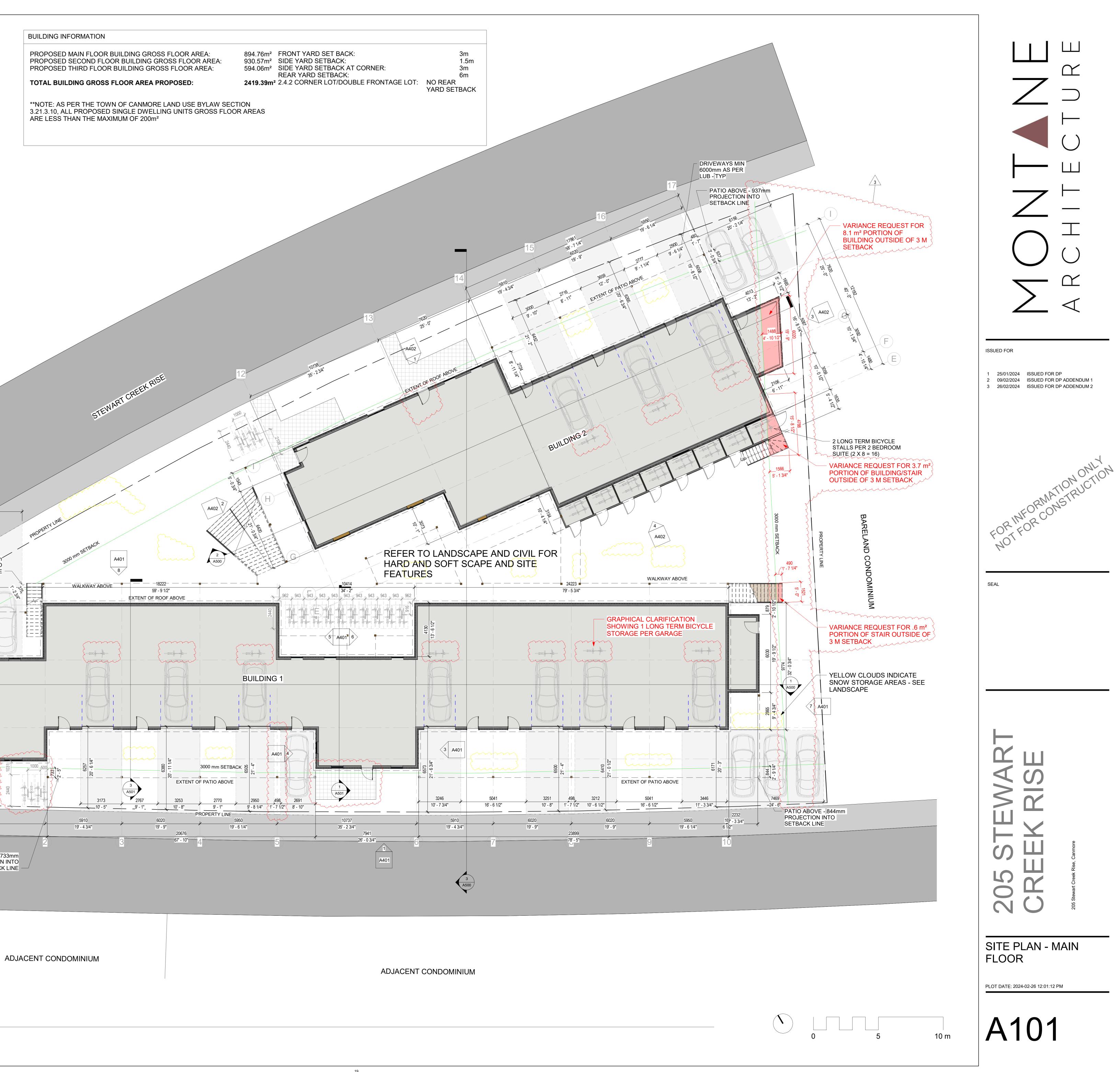


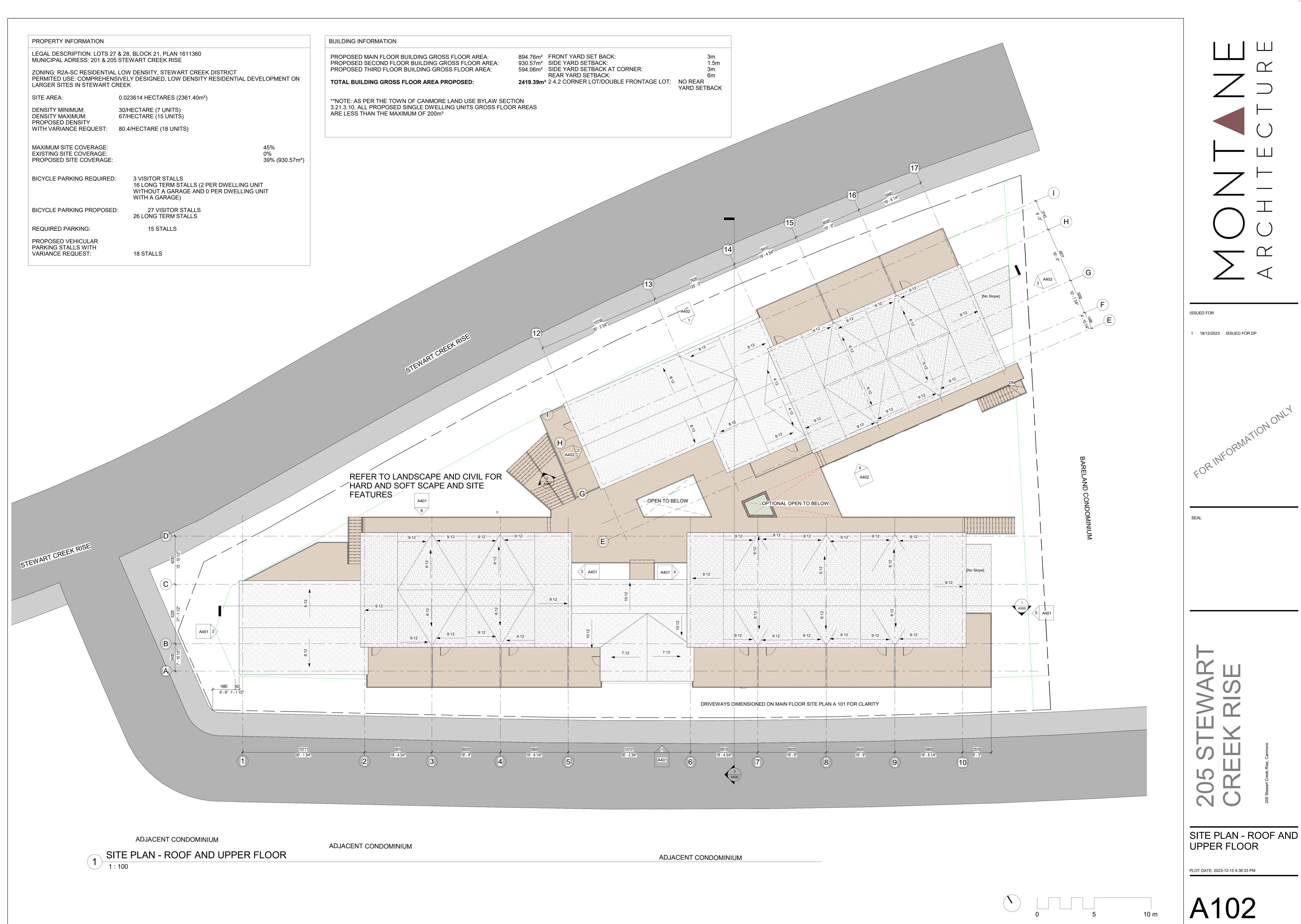
18/12/2023 ISSUED FOR DP

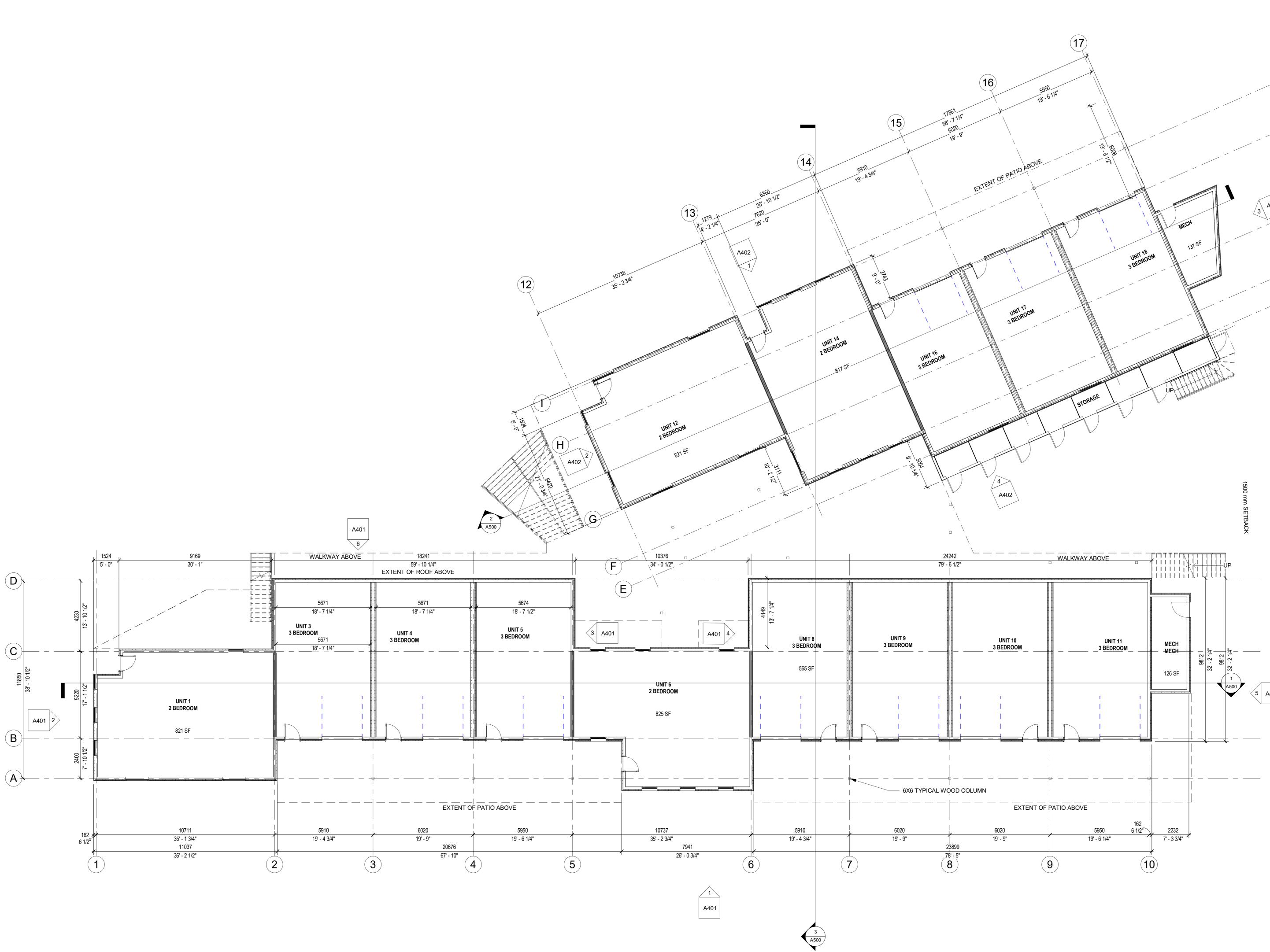


















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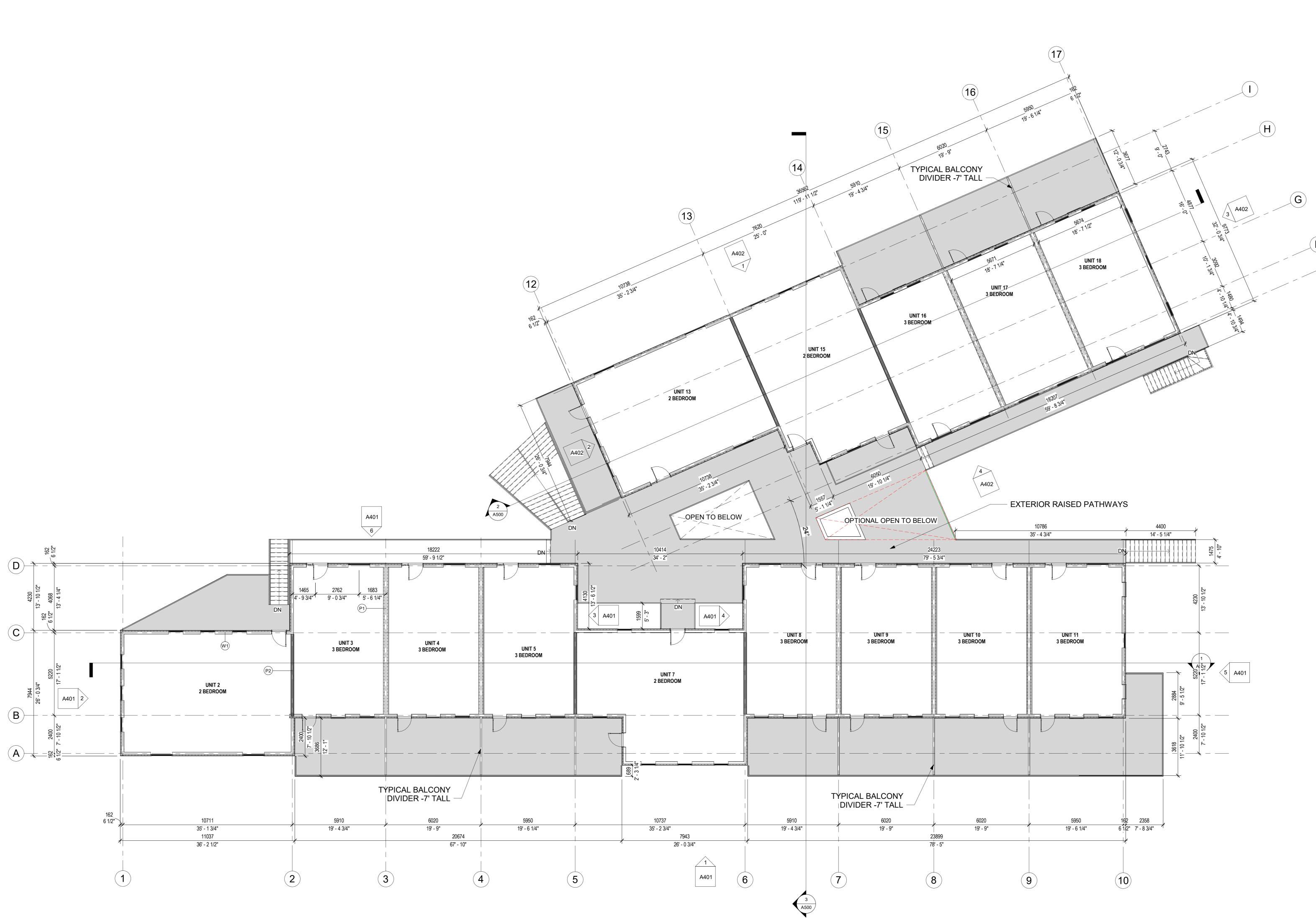
ш. S Ш Ш 205 C

# MAIN FLOOR PLAN

PLOT DATE: 2023-12-15 4:36:33 PM

 Image: Market with the second seco

# 1 SECOND FLOOR PLAN 1:100



22

A202

10 m

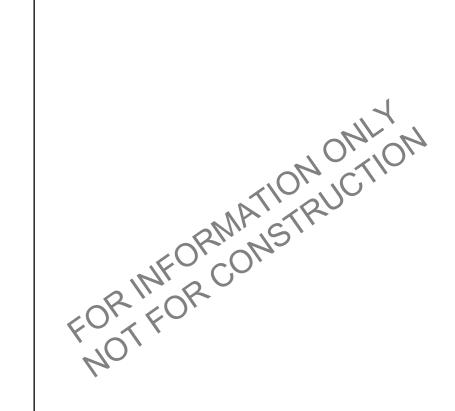
PLOT DATE: 2023-12-15 4:36:34 PM

2ND FLOOR PLAN



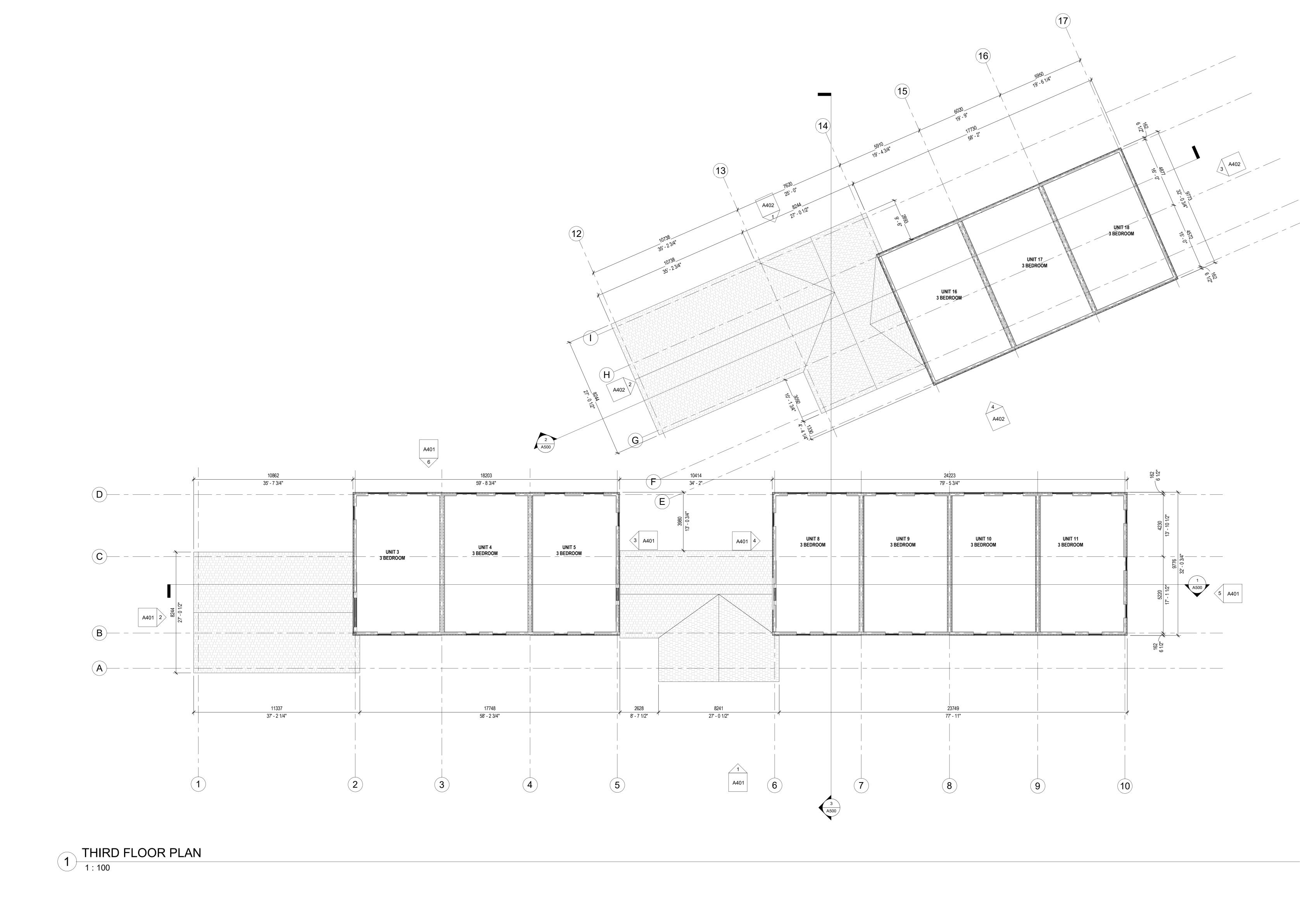


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1 18/12/2023 ISSUED FOR DP





23

		24223 - 5 3/4"		6 1/2"	<b>X</b>
	UNIT 9 3 BEDROOM	UNIT 10 3 BEDROOM	UNIT 11 3 BEDROOM	4230	
			Image:	5220 5220	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
 ■				6 1/2 P	
(7		8	9	10	

A203

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# 3RD FLOOR PLAN

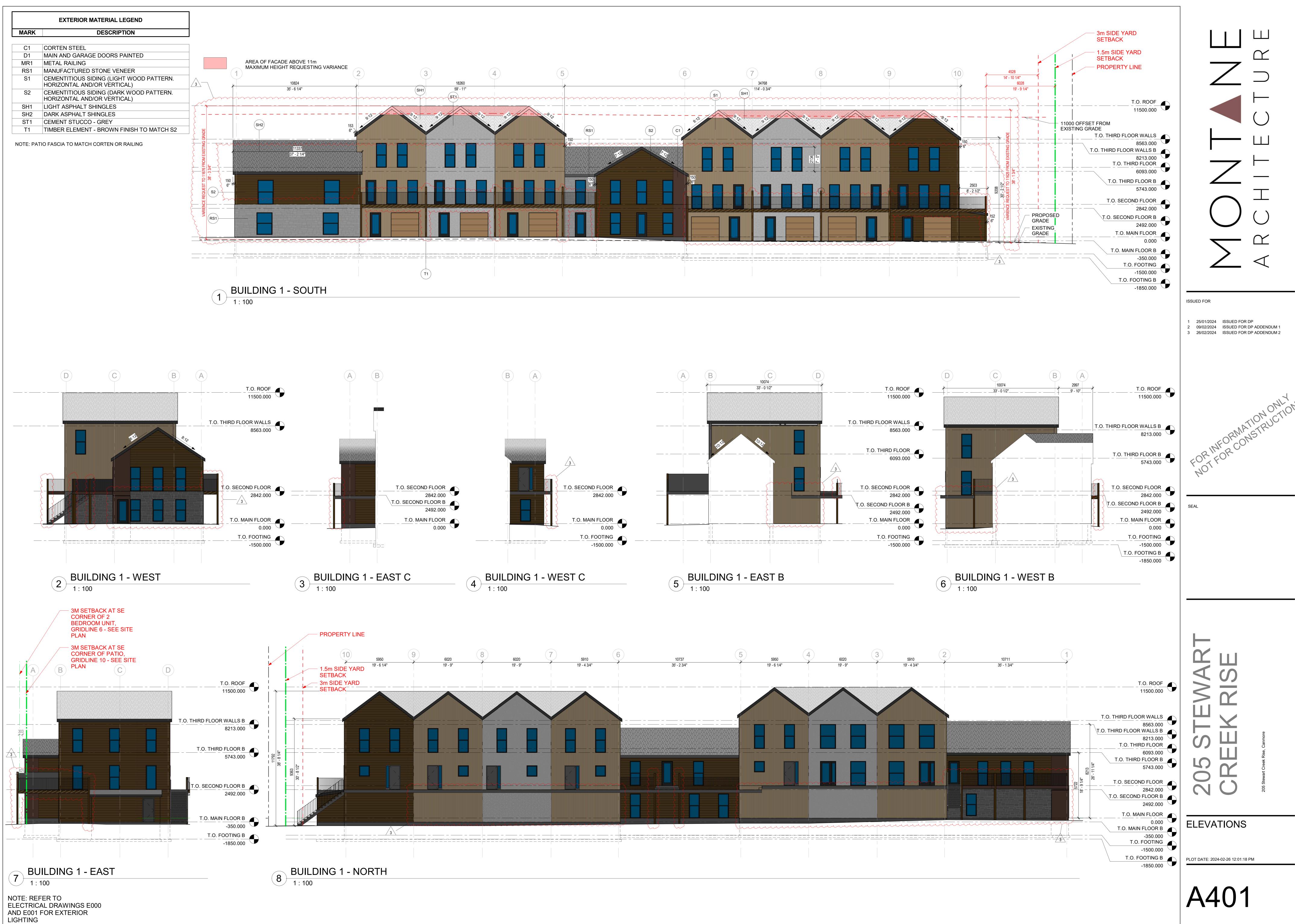


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1 18/12/2023 ISSUED FOR DP





	EXTERIOR MATERIAL LEGEND
MARK	DESCRIPTION
C1	CORTEN STEEL
D1	MAIN AND GARAGE DOORS PAINTED
MR1	METAL RAILING
RS1	MANUFACTURED STONE VENEER
S1	CEMENTITIOUS SIDING (LIGHT WOOD PATTERN. HORIZONTAL AND/OR VERTICAL)
S2	CEMENTITIOUS SIDING (DARK WOOD PATTERN. HORIZONTAL AND/OR VERTICAL)
SH1	LIGHT ASPHALT SHINGLES
SH2	DARK ASPHALT SHINGLES
ST1	CEMENT STUCCO - GREY
T1	TIMBER ELEMENT - BROWN FINISH TO MATCH S2

NOTE: PATIO FASCIA TO MATCH CORTEN OR RAILING





NOTE: REFER TO ELECTRICAL DRAWINGS E000 AND E001 FOR EXTERIOR LIGHTING







25

# A402

PLOT DATE: 2024-02-26 12:01:21 PM

# ELEVATIONS

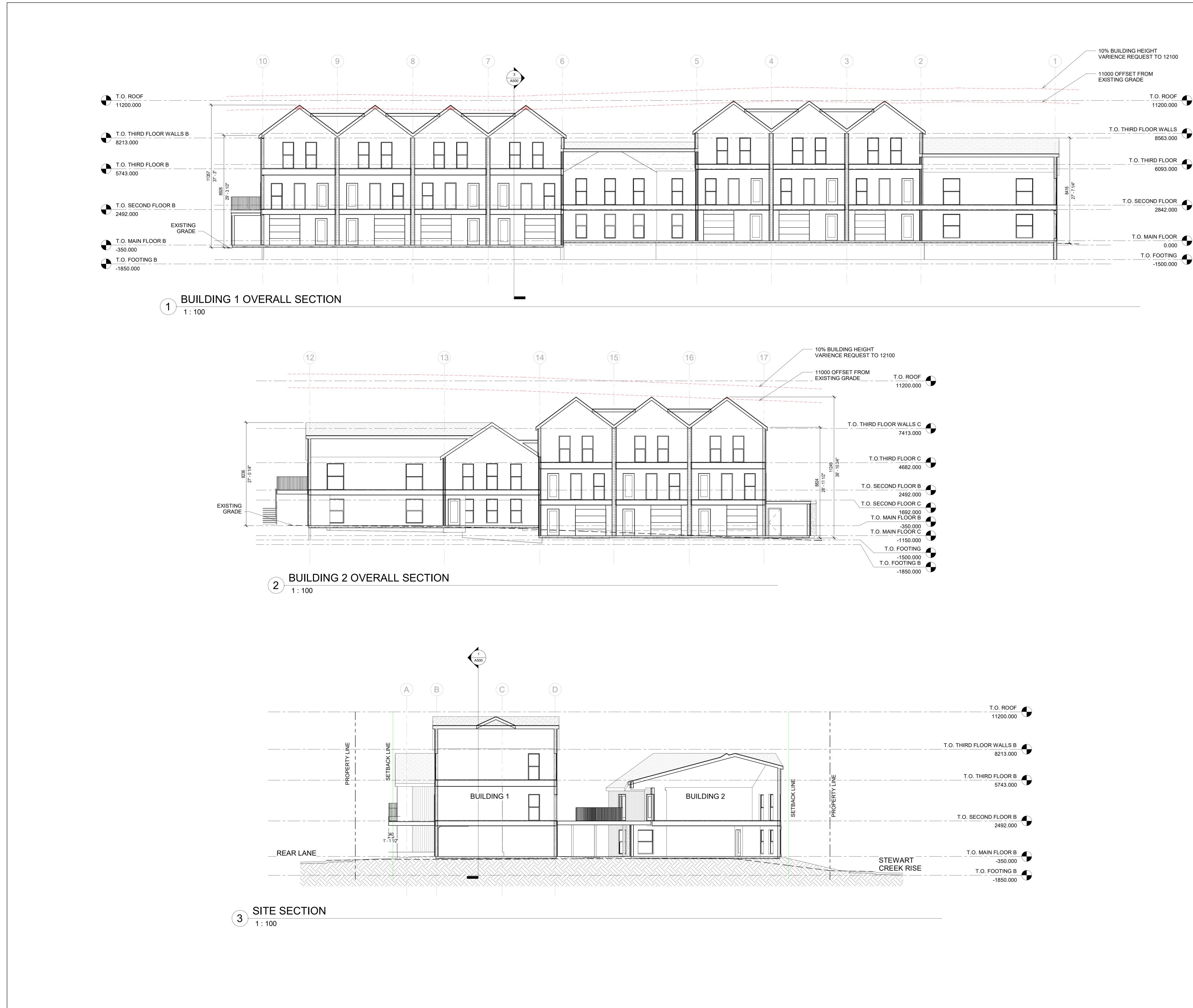


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1 25/01/2024 ISSUED FOR DP 2 09/02/2024 ISSUED FOR DP ADDENDUM 1 3 26/02/2024 ISSUED FOR DP ADDENDUM 2





26

# A500

PLOT DATE: 2023-12-15 4:36:41 PM

## **BUILDING SECTIONS**

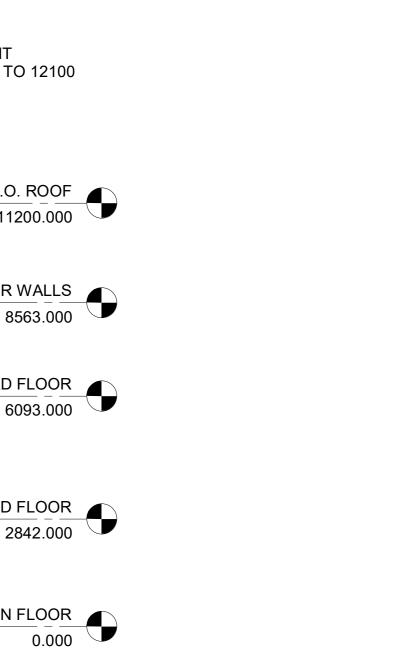




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1 18/12/2023 ISSUED FOR DP



# FOR CONCEPT IMPRESSION ONLY



27

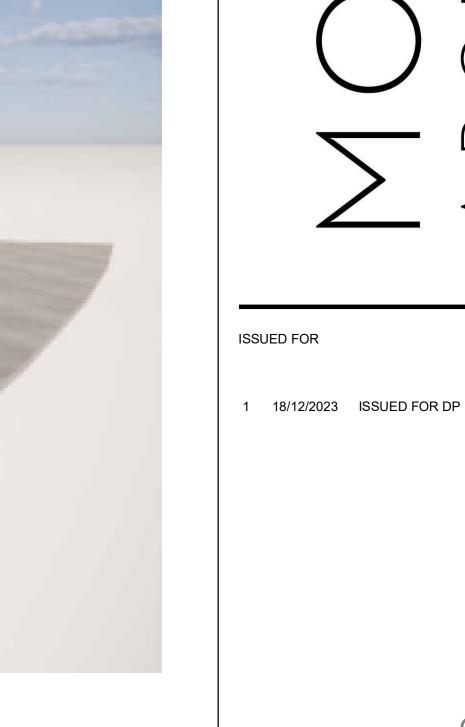






RENDERINGS

PLOT DATE: 2023-12-15 4:36:41 PM



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PLOT DATE: 2023-12-15 4:36:42 PM

## RENDERINGS

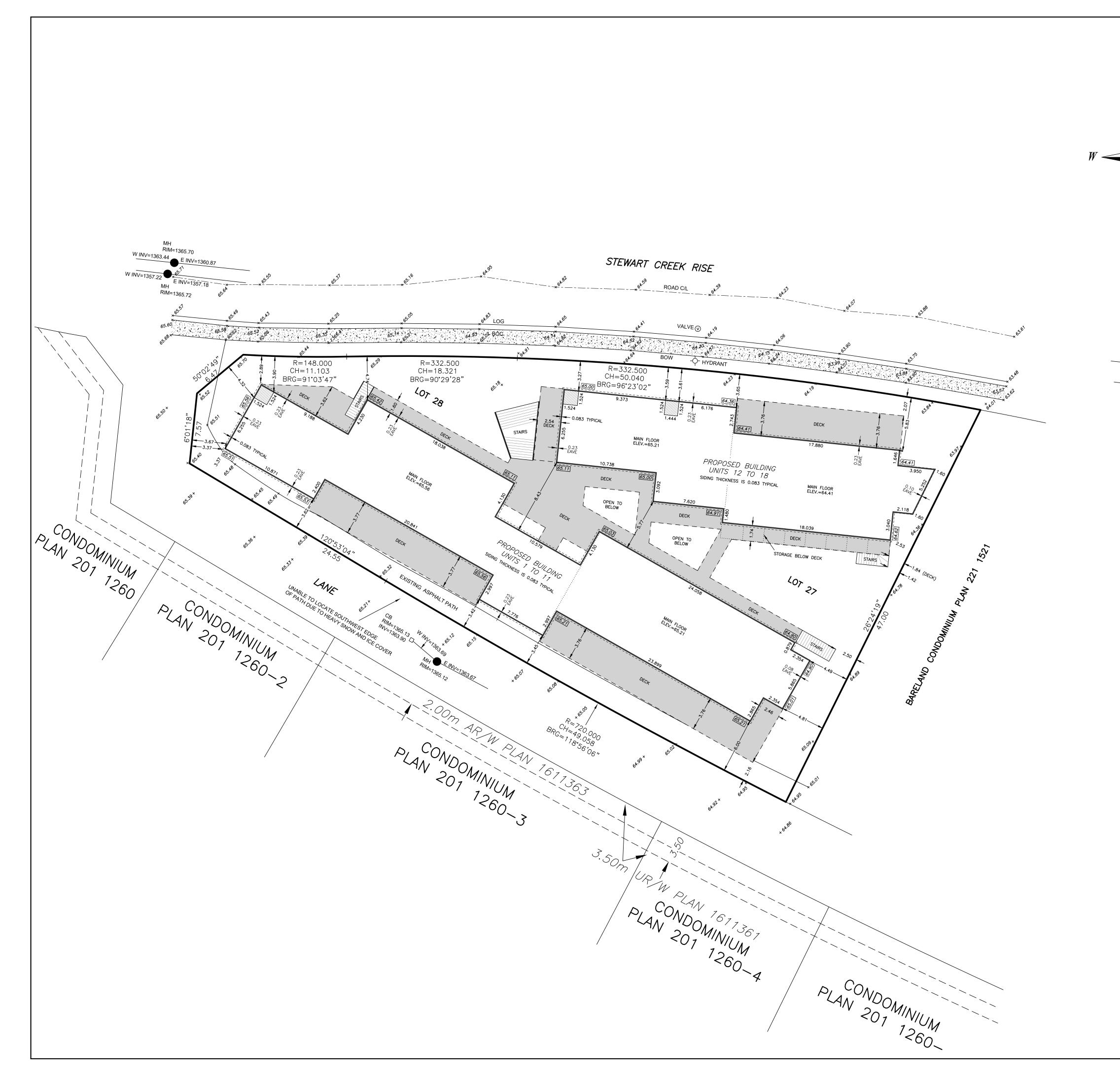


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1 18/12/2023 ISSUED FOR DP

ISSUED FOR



# CANMORE, ALBERTA

PLOT PLAN FOR DEVELOPMENT PERMIT

LOT 29, BLOCK 21, PLAN 2310690 205 STEWART CREEK RISE, CANMORE PREPARED FOR:

### MONTANE ARCHITECTURE

SCALE = 1:200

 MET

 5 4 3 2 1 0
 5 10
 20

### NOTES:

- DISTANCES AND ELEVATIONS ARE IN METRES.
- ELEVATIONS ARE REFERENCED TO ASCM 404251. ADD 1300.00m FOR GEODETIC.
- PLAN INFORMATION IS BASED ON A FIELD SURVEY COMPLETED
- FEBRUARY 15, 2023.
- AND CONTAINS <u>0.236 ha.</u>
- · 'P/L' DENOTES PROPERTY LINE.

### LEGEND:

9 E INV=1358.67 MH RIM=1362.89

RIM=1362.98

W INV=1358.19 E INV=1358.18

W INV=1358.69

EXISTING GRADESDESIGN GRADES .



CERTIFIED CORRECT THIS <u>8th</u> DAY OF DECEMBER, 2024.

GARRET DILLABOUGH, A.L.S.

BUILDING DESCRIPTION (PROPOSED UNITS)		FOOTPRINT (m <sup>2</sup> )	% OF LOT AREA	CANTILEVERS (m <sup>2</sup> )	% OF LOT AREA
BUILDING (UNITS 1 TO 11)		581.0	24.6	2.3	0.1
BUILDING (UNITS 12 TO 18)		350.5	14.8	4.5	0.2
	TOTAL =	931.5	39.4	6.8	0.3

BUILDING ELEVATION TABLE							
BUILDING DESCRIPTION (PROPOSED UNITS)	FIRST FLOOR/ GARAGE SLAB (AT ENTRANCE)	SECOND FLOOR	THIRD FLOOR	HIGHEST ROOF PEAK			
UNIT 1	65.56			73.79			
UNIT 2		68.40		/3./9			
UNIT 3	65.56	68.40	71.65				
UNIT 4	65.56	68.40	71.65	76.76			
UNIT 5	65.56	68.40	71.65				
UNIT 6	65.56			73.44			
UNIT 7		68.40		75.44			
UNIT 8	65.21	68.05	71.30				
UNIT 9	65.21	68.05	71.30	76.39			
UNIT 10	65.21	68.05	71.30	/0.59			
UNIT 11	65.21	68.05	71.30				
UNIT 12	65.21						
UNIT 13		68.05		73.45			
UNIT 14	65.21			75.45			
UNIT 15		68.05					
UNIT 16	64.41	67.25	70.24				
UNIT 17	64.41	67.25	70.24	75.48			
UNIT 18	64.41	67.25	70.24				

NOTE: INTERNAL SURFACE FEATURES ARE NOT ILLUSTRATED ON THIS PLAN. SEE "ARCHITECTURAL SITE PLAN" (A100) BY MONTANE ARCHITECTURE FOR DETAILED SITE SURFACE FEATURES.					
NOTE: DIMENSIONS FROM PROPERTY LINE ARE TO FOUNDATION.					
SEE ENGINEER'S SITE PLAN					
SEE SURFACEWORKS AND GRADING PLAN SHEET C-100 BY MCELHANNEY FOR DETAILED SITE GRADES AND DRAINAGE.					
McElhanney					
Land Surveys (Alta.) Ltd.					
203 – 502 BOW VALLEY TRAIL, CANMORE, ALBERTA T1W 1 PH (403) 678–6363; FAX (855) 407–3895					
FILE: 00384 00384p_DP.DWG					

PLOTTED: DEC/18/2023

DRAWN BY: J.P.



### LANDSCAPE PLAN

PLANT IMAGE



ASPEN

SITE FURNITURE IMAGES



BIKE RACK EP 5980 BY EQUIPARC OR APPROVED



COLUMNAR ASPEN



WHITE SPRUCE



GREEN ALDER

SHRUBS



JUNIPER





VEINY MEADOW WHITE RUE

MEADOWSWEET



PICNIC TABLE EP 2950-D BY FOUIPARC OR APPROVED



BENCH EP 1950 BY FOUIPARC OR APPROVED

	EQUIVALENT)			BY EQUIPARC OR A EQUIVALENT)	PPRO	VED	EQUIVALENT)	
							THIS DRAWING AND DESIGN IS THE PROPERTY OF MCELHANNEY AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF MCELHANNEY. MCELHANNEY WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN. THIS DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT IDENTIFIED, TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION. MCELHANNEY, ITS	
	~~~						EMPLOYEES, SUBCONSULTANTS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON, OR ANY CHANGES MADE TO, THIS DRAWING, BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND STAKEHOLDERS, OR THER	
É F	PC	2024-02-26	ISSUED FOR DP ADDENDUM 2	LJ	KU	KU	EMPLOYEES OR AGENTS, WITHOUT MCELHANNEY'S PRIOR WRITTEN CONSENT.	
7_70_	PB	2024-02-09	ISSUED FOR DP ADDENDUM 1	LJ	KU	KU	INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. MCELHANNEY,	
1303	PA	2024-01-25	ISSUED FOR DP	LJ	KU	KU	ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONDUITS, PIPES, CABLES OR OTHER FACILITIES WHETHER SHOWN OR OMITTED FROM THIS	
	Rev	Date	Description	Drawn	Design	App'd	PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.	ORIGINAL DWG SIZE: ANSI D (22" x 34")

### PLANT SCHEDULE

Total Qty.	Key	Botanical Name	Common Name	Size	Spacing O.C.
rees		•		· · ·	÷
2	FP	Fraxinus pennsylvanica	Green Ash	85mm cal., W.B. single leader	as specifie
9	PT	Populus tremuloides	Trembling Aspen	85mm cal., W.B. single leader	as specifie
22	PE	Populus tremula 'Erecta'	Swedish Columnar Aspen	70mm cal. W.B. single leader	as specifie
7	PG	Picea glauca	White Spruce	2000mm ht., W.B. single leader	as specifie
Shrubs, Grou	Indcover	s & Vines		•	
57	av	Alnus viridis	Green Alder	#2 cont.	1.5m
39	jh	Juniperus horizontalis	Creeping Juniper	#2 cont.	1.2m
Perennials		·		· · · · · · · · · · · · · · · · · · ·	
195	tv	Thalictrum venulosum	Veiny Meadow Rue	#1 cont., 2 year growth	0.6m
8 2	sa	Spiraea alba	White Meadowsweet	#1 cont., 2 year growth	0.9m



### LANDSCAPE REQUIREMENTS

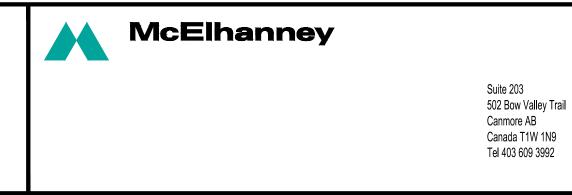
TOTAL TREES PROVIDED: 40

TOTAL DECIDUOUS TREES PROVIDE: 33 (82.5% OF TOTAL TREES)

TOTAL CONIFEROUS TREES PROVIDED: 7 (17.5% OF TOTAL TREES)

LARGE TREES PROVIDED 11 (27.5% OF TOTAL TREES)

MEDIUM TREES PROVIDED 22 (55% OF TOTAL TREES) SMALL TREES PROVIDED 7 (17.5% OF TOTAL TREES)



PRELIMINA NOT FO CONSTRUC

SCALE 1:200

THIS DRAWING HAS NOT BEEN AND MAY CONTAIN ERRORS AN

UTILITY LOCATES NO RESPONSIBILITY IS IMPLIED OR ASSUMED BY THE ENGINEER/LANDSCAPE ARCHITECT AS TO THE LOCATION AND ELEVATION OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF ALL UTILITIES THAT MAY BE IMPACTED AND MUST CONTACT THE VARIOUS UTILITY COMPANIES FOR THIS SITE PRIOR TO COMMENCEMENT OF ANY OPERATIONS. PROVIDE ENGINEER/LANDSCAPE ARCHITECT WITH COPY OF ALL LOCATE REPORTS. PROJECT LOCATION

### KEY PLAN

SCALE 1:10000

### GENERAL NOTES

- 1. THIS DRAWING HAS BEEN PREPARED FOR REVIEW PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
- 2. LANDSCAPE AND CIVIL DRAWINGS SHALL BE COORDINATED. LANDSCAPE GRADING SHALL CONFORM TO THE SITE GRADING AND DRAINAGE CIVIL DRAWINGS. ENSURE POSITIVE DRAINAGE ON WALKWAY AND SURROUNDING LANDSCAPE.
- 3. LOCATION OF UNDERGROUND UTILITIES TO BE CONFIRMED PRIOR TO COMMENCEMENT OF LANDSCAPE WORKS.
- 4. ALL LANDSCAPE AREAS SHALL BE AUTOMATICALLY IRRIGATED.
- 5. VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
- 6. DO NOT SCALE DRAWINGS.
- 7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

### PLANTING NOTES

- 1. ALL LANDSCAPING WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD AND BE IN ACCORDANCE WITH TOWN OF CANMORE STANDARDS/GUIDELINES.
- 2. ALL PLANT MATERIAL TO COME FROM A CERTIFIED DISEASE-FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.
- 3. ALL PLANTING BED TO HAVE A MINIMUM OF 75mm DEPTH BARK MULCH. ENSURE CLEAR RADIUS OF 100mm AROUND PLANT STEM.
- 4. SOD TO BE NO.1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN A.B. AND SHALL BE DROUGHT TOLERANT.
- 5. STAKE TREE LOCATIONS AND BED EDGES FOR APPROVAL BY LANDSCAPE ARCHITECT.
- 6. PROVIDE GROWING MEDIUM DEPTHS/VOLUMES AS FOLLOWS: TREES - 1000mm DEPTH GROWING MEDIUM VOLUMES
- PLANTING BEDS (SHRUBS | PERENNIALS) 450mm CONTINUOUS DEPTH LAWN - 150mm CONTINUOUS DEPTH

RY	CANMORE COMMUNITY HOUSING 205 STEWART CREEK RISE	Drawing No.	_	
r TION	205 STEWART CREEK RISE LANDSCAPE PLAN	L101		
		Project Number	Rev.	
APPROVED OMISSIONS		2531-00384-00	PC	

SWEDISH COLUMNAR ASPEN Populus tremula 'Erecta'

CREEPING JUNIPER

VEINY MEADOW RUE Thalictrum venulosum

WHITE MEADOWSWEET

ATTACHMENT 5 – SUSTAINABILITY SCREENING REPORT (SSR)

### Sustainability Screening Report Process Impact - Offset Matrix

### Summary Page

Overall Results	Impact			Offset		
		%			%	
Economic Sustainability	-0.45	4.64		4.33	1.48	
			_			
Environmental Stewardship	-3.64	37.86		6.30	2.15	
			-			
Social Fabric	-5.52	57.50		282.61	96.38	
	Total Impact -9.60		Total Offset	293.23	Net Score 283.	63

Economic Sustainability	
Income and Wages	0.00
Non-Residential Tax Assessment	-0.45

Environmental Stewardship	I
Residential Water Consumption	-0.65
Commercial Water Consumption	0.00
Residential Solid Waste Generation	-0.46
Commercial Solid Waste Generation	0.00
All Building Energy use and GHG emissions	-1.74
Transportation	0.00
Infrastructure (sanitary-gravity)	0.00
Infrastructure (sanitary-pressure)	0.00
Environmentally Sensitive Lands	0.00
Land Consumption	-0.05
Efficient Residential Land Use	-0.42
Efficient Commercial Land Use	0.00
Efficient Industrial Land Use	0.00
Efficient Mixed Use Residential Land Use	0.00
Efficient Mixed Use Commercial Land Use	0.00
Metres of trails / capita	-0.32
Metres of new roads to service development	0.00

Social Fabric		
Affordability of Market housing (in relation to median income)	0.00	
PAH Housing	-1.08	
Seniors Housing	-0.87	
Employee Housing	-0.65	
Childcare spaces	-0.86	
Library	-0.34	
Food Bank Usage	-0.69	
Social Assistance Payments	-0.68	
Crimes Against Persons and Property	-0.34	

ECONO	mic Sustainability
0.00	InfraCycle Assessment
0.00	Increasing commercial assessment
2.03	New employment above median salary
0.00	New employment outside of 4 significant sectors
0.00	Floor space for Economic Development & Tourism
2.29	Percentage of local construction labour value
0.00	Economic leadership or innovation
Enviro	nmental Stewardship
0.00	Residential / commercial mix of uses
0.00	Higher density than current levels
0.00	Access to community services from residences
0.00	Access to services from the commercial site
0.30	Water saving measures
0.30	Rain water harvesting system or infiltration
0.30	Construction waste diversion rate
0.00	Long-term, operating waste diversion
0.00	Parking stalls are un-assigned
0.30	Bike parking of adequate quality
0.90	Average size of the dwellings
0.00	LEED Certified
1.80	Built Green Certified
0.00	Other green building certification programs
0.00	Commercial energy consumption reduction
1.80	Residential energy consumption reduction
0.60	Environmentally sensitive land protection
0.00	Minimize density adjacent to sensitive lands
0.00	Reuse an existing contaminated site
0.00	Environmental leadership or innovation

**Economic Sustainability** 

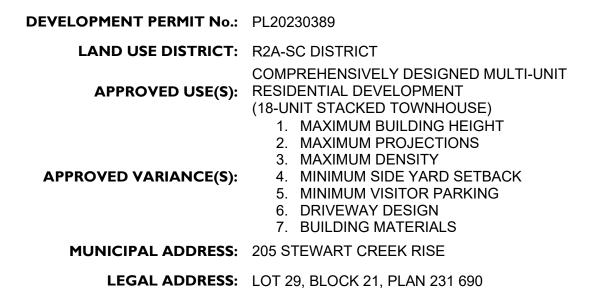
Social	Fabric
280.51	Units of perpetually affordable housing
0.00	Cash contribution towards PAH
0.00	Bedrooms of employee housing
0.00	Bedrooms for employees earning < median income
0.00	Cash contribution towards employee housing
0.00	Units of seniors housing
0.00	Percentage of the employees housed
0.00	Employees rental assistance 10% below market levels
0.90	Percentage of site ares for social interaction
0.00	Reuse an existing historic property or building
0.00	Exceed minimum municipal reserve requirements
0.00	Accessible recreation or cultural facilities or programs
0.00	Contribution to recreation facilities
0.00	Support school enrollment
0.00	Support for current childcare facilities
0.00	Support for cultural establishments
0.00	Support for other non-profit community organizations
0.00	Unique supports for community programming
0.00	Support for special events
0.00	Public art component
1.20	Public consultation program
0.00	Social leadership or innovation

ATTACHMENT 6 - SCHEDULE A - CONDITIONS OF APPROVAL



Town of Canmore 902 - 7th Avenue Canmore, AB, TIW 3KI www.canmore.ca

SCHEDULE A CONDITIONS OF APPROVAL



### **APPROVED VARIANCES**

- 1. To Section 2.3.0.1g&h of Land Use Bylaw 2018-22, to allow for more than one vehicle access to the site, greater driveway widths, and non-decorative driveway surfaces, generally as shown on the approved plans.
- 2. To Section 2.4.3.1 of Land Use Bylaw 2018-22, to allow for greater eave, deck, and stair projections than that specified in Table 2.4-1, as shown on the approved plans.
- 3. To Section 2.7.7.1 of Land Use Bylaw 2018-22, to allow for 0 visitor parking stalls instead of the required minimum of 2 stalls.
- 4. To Section 3.21.3.5 of Land Use Bylaw 2018-22, to allow for a maximum building height of 11.67m instead of the maximum allowed of 10.5m.
- 5. To Section 3.21.4.2 of Land Use Bylaw 2018-22, to allow for a 1.6 m side yard setback, instead of the minimum 3.0m required, as shown on the approved plans.
- 6. To Section 3.21.4.4 of Land Use Bylaw 2018-22, to allow for a maximum density of 80.4 Units/Ha instead of the maximum allowed of 67 Units/Ha.
- 7. To Section 11.6.7.1 of Land Use Bylaw 2018-22, to allow for the use of corten steel as an accent material on the building.

### **Planning & Development Department**



### **STANDARD CONDITIONS**

- 1. Prior to the release of the Development Permit, the applicant shall enter into a Development Agreement with the Town of Canmore to do the following:
  - a. Construct or pay for the construction of the municipal improvements, infrastructure and services required by the development, which may include but shall not be limited to:
    - Transportation;
    - Water;
    - Sanitary;
    - Storm; and
    - Fire
  - b. Pay the off-site levies imposed by the Off-Site Levy 2020 Bylaw (Bylaw 2020-27), as amended or replaced from time to time; and
  - c. Provide security in accordance with the Engineering Design and Construction Guidelines (EDCG) to ensure the terms of the Development Agreement are carried out; and
  - d. Pay for any other fees as identified in this document.
- 2. All construction associated with the approval of this Development Permit shall comply with the regulations of the Land Use Bylaw (LUB) 2018-22, unless otherwise stated under the approved variances section of this document.
- 3. All construction associated with the approval of this Development Permit shall comply with the Town of Canmore Engineering requirements outlined in the Engineering Design and Construction Guidelines (EDCG).
- 4. All construction associated with the approval of this Development Permit shall comply with the Tree Protection Bylaw (Bylaw 2019-10), as amended or replaced from time to time, and ensure all tree protection measures are appropriately put in place prior to development of the site, where determined necessary by the Town of Canmore's Public Works Department.
- 5. All construction, landscaping and exterior finishing materials are to be as shown on the approved plans and other supporting material submitted with the application.
- 6. Any trees, shrubs or other plant material installed as part of the landscaping plan which may die or are blown over, shall be replaced on an ongoing basis, prior to receipt by the developer of a Development Completion Certificate.
- 7. Any roof top mechanical apparatus, including chimneys and vents, shall be screened to the satisfaction of the Development Authority.
- 8. Access to the site for emergency vehicles shall be to the satisfaction of the Fire Chief.
- 9. All signs shall require a separate development permit.
- 10. **No occupancy** shall be permitted until an Occupancy Certificate has been issued by the Town of Canmore.



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### **SPECIFIC CONDITIONS**

- The applicant shall provide **security** to the Town of Canmore to ensure the completion of the project, in the form of cash or an irrevocable Letter of Credit. The amount should be equal to or no less than 1.25 (125%) of the estimated project costs for the project for landscaping and all hard surfacing, paving; and 2. site servicing; both to the satisfaction of the Town. The Letter of Credit shall be supplied at the time of the signing of the Development Agreement and shall be in a format acceptable to the Town of Canmore.
- 2. The Developer shall submit and follow their approved **Construction Management Plan**. The construction management plan **submitted prior to construction** shall be followed through all stages of construction. If any problems arise where the Town Bylaws are being violated, a Stop Work Order will be delivered without warning and all construction shall cease until all problems have been rectified to the satisfaction of the Town of Canmore.
- 3. The Developer is required to provide a minimum of <u>18</u> vehicle parking stalls, <u>0</u> Short-term vehicle parking stalls, <u>0</u> loading bays, <u>3</u> short-term bicycle parking stalls and <u>16</u> long term bicycle parking stalls, as shown in the approved plans.
- 4. The Developer shall provide **landscaping** generally in accordance with the approved landscaping plan.
- The Developer agrees to comply with the requirements for enhanced green construction, and that the development will be <u>1-10% better than the current NECB</u> in place at the time of development as outlined in Section 11 Green Building Regulations of the Land Use Bylaw.

PRIOR TO THE RELEASE OF THE DEVELOPMENT PERMIT

6. **Prior to the release of the Development Permit,** the Developer shall pay the following variance fees as outlined below.

Seven (7) approved variances: Discretion limited in Land Use Bylaw 3@ \$340.00 = \$1,020.00 Discretion not limited in Land Use Bylaw 4@ \$210.00 = \$840.00

### TOTAL: <u>\$1,860.00</u>

- 7. **Prior to the release of the Development Permit,** the Developer will submit **addressing** in accordance with the Town's Civic Addressing Protocol.
- 8. **Prior to the release of the Development Permit,** the Developer shall provide **lighting details** as required by, and in conformance with Land Use Bylaw 2018-22
- 9. **Prior to the release of the Development Permit**, the Developer shall provide a **preconstruction energy report** estimating the energy efficiency of the development using the current NECB.
- 10. **Prior to the release of the Development Permit**, the applicant shall provide approval from the approving authority for the **private architectural controls** registered on the parcel.



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### **ADVISORY COMMENTS**

1. None.

Signature Chair, Canmore Planning Commission		Date	
IS A NOTICE POSTING REQUIRED:	X YES		